



# Village of Westmont

31 West Quincy Street, Westmont, Illinois 60559

villageboard@westmont.il.gov  
westmont.illinois.gov | 630-981-6200

## **LEGAL NOTICE / PUBLIC NOTICE VILLAGE OF WESTMONT PLANNING AND ZONING COMMISSION MEETING AGENDA**

The Village of Westmont Planning and Zoning Commission will hold its regular meeting on Wednesday, July 9, 2025 at 6:00 PM, at the Village of Westmont, 31 W. Quincy St., Westmont, IL 60559.

1. Call to Order
2. Roll Call
3. Pledge of Allegiance
4. Swearing-in of testifying attendees
5. Reminder to Silence All Electronic Devices
6. Reminder to Sign-In for Any Public Testimony
7. Approval of Minutes
  - a. Approval of the Minutes of the June 25, 2025 Special Meeting
8. Review of Public Hearing Procedures
9. Old Business - None
10. New Business
  - a. PUBLIC HEARING PZC 008-2025  
Requests from TGP Innovations LLC, d/b/a That Golf Place (Petitioner), and Pranno Corporation (Owner), for the property at 212 East Chicago Avenue, Westmont, Illinois, 60559, for the following:
    1. Special Use Permit to operate an indoor golf simulator facility amusement establishment in the B-2 General Business District.
    2. Zoning Ordinance Variance to the special condition that requires a 100-foot distance separation between an amusement establishment and a residence district.
  - b. PUBLIC HEARING PZC 009-2025  
Request from Justin and Natalie Krone, for the property at 232 East Des Moines Street, Westmont, Illinois, 60559, for the following:
    1. Zoning Ordinance Variance to the maximum lot coverage in the R-3 Single-Family Detached Residence District for a residential pool.

- c. PUBLIC HEARING PZC 010-2025  
Request from Michael Schaefer and Chivon Niziolek, for the property at 102 West Naperville Road, Westmont, Illinois, 60559, for the following:
  - 1. Zoning Ordinance Variance to the maximum lot coverage in the R-3 Single-Family Detached Residence District, for a patio and walkways.
- d. PUBLIC HEARING PZC 012-2025  
Request from Advocate Health and Hospitals Corporation, for the property at 639 Blackhawk Drive, Westmont, Illinois, 60559, for the following:
  - 1. Zoning Ordinance Variance to the maximum height and area of directional signs in the B-2 General Business District.
- e. PUBLIC HEARING PZC 013-2025  
Request from Chicago Lightworks LLC, d/b/a Chicago Lightworks (Petitioner) and 1133 Cleveland Properties, LLC, d/b/a Oakmont Tech Center (Owner) for the property at 600 Oakmont Lane, Suite 600, Westmont, Illinois, 60559, for the following:
  - 1. Special Use Permit to operate business offices with accessory uses of warehousing, distribution of materials, goods, or products in the O/R Office/Research District.

11. Open Forum

The public comment rules and procedures are set forth in Chapter 2, Section 2-66 of the Westmont Code of Ordinances. Public comment is allowed for matters of public concern that are not on the agenda. Public comment is limited to 3 minutes per speaker.

12. Miscellaneous

a. General Updates

- 1. Special PZC Meeting on July 23, 2025 continuation Public Hearing of PZC 001-2025 Zoning Ordinance Text Amendments
- 2. Next Regular PZC meeting on August 13, 2025

13. Adjourn

Note: Any person who has a disability requiring a reasonable accommodation to participate in the meeting should contact the ADA Compliance Officer, 9:00 A.M. to 4:00 P.M. Monday through Friday, Village of Westmont, Illinois, 60559; or telephone (630) 981-6210 voice, within a reasonable time before the meeting. Listen Everywhere, an assistive listening, mobile app, is now available to visitors attending Board and Commission Meetings held in the Village Hall Board Room.

<https://westmont.illinois.gov/581/ADA-Listen-Everywhere>



# Village of Westmont COMMUNITY DEVELOPMENT

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## Village of Westmont Planning & Zoning Commission June 25, 2025 - Draft Minutes

The Village of Westmont Planning and Zoning Commission held a special meeting on Wednesday, **June 25, 2025 at 6:00 p.m.**, at the Westmont Village Hall located at 31 W. Quincy Street, Westmont, Illinois 60559.

### 1. Call to Order

Chair Doug Carmichael called the meeting to order at **6:00 PM**.

### 2. Roll Call

**Present: 6** - Chair Doug Carmichael, Secretary Jill Peterson, Commissioners Conor Donoghue, Michael Lynn, Thomas Sharp, John F. Simpson IV

**Absent: 1** - Commissioner Craig Thomas

### A QUORUM WAS PRESENT TO TRANSACT BUSINESS

**Staff:** Scott Williams (Senior Planner), Joseph Hennerfiend (Community Development Director), John Zemenak (Village Attorney)

### 3. Pledge of Allegiance

### 4. Swearing-in of testifying attendees

### 5. Reminder to silence all electronic devices

### 6. Reminder to sign-in for any public testimony

### 7. Approval of the Minutes of the **June 11, 2025** regular meeting.

**MOTION** by **Simpson** to approve the regular meeting minutes from June 11, 2025.

Seconded by **Sharp**.

### VOTING:

**Ayes: 5** - Carmichael, Peterson, Lynn, Sharp, Simpson

**Nays: 0**

**Abstain: 1** - Donoghue

**Absent: 1** - Thomas

### Motion Passed

### 8. Review of Public Hearing Procedures

### 9. Old Business

### PUBLIC HEARING PZC 001-2025

Requests from the Village of Westmont regarding Zoning Ordinance text amendments as follows:

- 1) Zoning Ordinance text amendments to repeal Appendix A – Zoning, of the Westmont Code of



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Ordinances and to establish new Chapter 95 – Zoning, of the Westmont Code of Ordinance, with comprehensive updates to the entire Zoning Ordinance, including amendments to the zoning districts, development standards, planning processes, and other zoning regulations.

### Article IX: Parking

Scott Williams, Senior Planner, gave a brief overview of the Article's drafted language.

Secretary Peterson questioned if when the minimum parking requirement results in a fraction, whether the number is rounded up or down. Williams answered that when the fraction results in 0.5 or more, the requirement is rounded up. If it is less than 0.5, it gets rounded down.

Commissioner Lynn asked if it makes sense to change the warehousing parking requirement to be derived from the floor area instead of the number of employees. Williams replied that many neighboring communities regulate it based on the floor area, noting that it is hard to verify the number of employees.

Joseph Hennerfeind, Community Development Director, explained that the parking requirement is dependent on the user of the building, which can vary widely from tenant to tenant, and that staff is looking to refine the numbers to be simpler to calculate.

Commissioner Sharp clarified how the parking requirement changes when the use changes. Staff further explained scenarios when the existing parking is scrutinized.

Peterson recommended increasing the minimum parking requirement for health and fitness services, which Sharp agreed with.

Chair Carmichael expressed that a veterinarian should not have a higher parking requirement than a service or retail use.

Commissioner Donoghue asked if parking in other businesses' parking spaces was allowed. Peterson replied that in multi-tenant centers, they can park anywhere in the parking lot.

Hennerfeind asked how the parking requirement is determined for a new multi-tenant center when the future tenants are not known. Williams replied that he believes it is a flat rate determined by the center's floor area.

Carmichael questioned the parking requirement for video gaming cafes. Hennerfeind replied that new video gaming cafes are not allowed. Williams added that accessory video gaming in restaurants uses the restaurant parking requirement.

Commissioner Simpson asked why craft alcoholic beverage distributors have a parking requirement for both the seating area and per employees. Williams said it is likely a carry-over from the existing language.

Simpson recommended splitting the parking requirement for health and fitness services into gymnasiums and studio classes, with studio classes having a higher minimum.

Hennerfeind explained the trend of removing parking minimums and letting the market decide how much



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parking to provide, which the Village of Westmont is ill-prepared for.

Sharp asked for the parking requirement for medical offices.

Sharp found that one parking space per seven students is too low for colleges and business training services.

Sharp questioned how the parking requirement for hotels changes if it has a conference center. Hennerfeind replied that the hotel would need to provide spaces for the guest rooms and the conference center.

Sharp pointed out that “other retail, outdoor” is missing a parking requirement.

Referencing public comment, Sharp advocated for removing the “per seat” calculation for religious uses. Williams replied that the other option would be to regulate based on maximum occupancy, which Sharp said would likely result in an excessive requirement.

Carmichael asked why financial services have different parking requirements. Williams explained that it is due to carry-over from existing language and from what similar communities require.

Donoghue clarified that the parking requirements will be for the proposed smaller parking stall sizes. Williams answered yes, and that the parking stall size is being lowered because of the many waiver requests that are made and approved by the Village Board.

Simpson questioned if hotels should have a lower parking requirement for guest rooms, but explicitly say that they need to provide parking for employees, banquet facilities, and other accessory uses.

Lynn asked how often the requirements are reviewed. Hennerfeind answered that text amendment can be requested at any time, but staff usually waits until a trend shows that an amendment is warranted.

Simpson recommended having the parking requirement determined by the floor area dedicated to serving the use and not including spaces like storage areas and requiring parking for all seating areas, not just interior seating.

Hennerfeind expressed that parking minimums are designed to ensure enough parking is provided to serve the users, but not so much that the requirement is excessive. Donoghue added that it is up to the business owner to ensure they open a business in a space with enough parking.

Sharp said that building codes exempt spaces like stairwells and facility rooms for occupancy counts.

Referencing Sec. 9.04(A)(D), Sharp asked why existing multi-tenant centers are required to provide extra parking if the building is expanded, especially if a center may already provide excess parking. Williams answered that the section is carry-over, and can be cleaned up.

Sharp referenced a public comment recommending “collaborative parking”, asking how it is different from “shared parking” in Sec. 9.04(D). John Zemenak, Village Attorney, replied that he is not aware of a difference between the two terms.

Sharp asked staff to clarify the difference between multi-tenant center parking (Sec. 9.04(A)(2)) and



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shared parking (Sec. 9.04(C)).

Simpson asked if the parking requirement is reduced if rideshare services are provided. Williams explained the difference between shared parking agreements and shared-car parking.

Williams said that off-site parking in Sec. 9.05 would be allowed for nonresidential districts instead of nonresidential uses.

Sharp expressed that it may be appropriate to reduce the aisle width for 90° parking spaces when it is a one-way drive aisle.

Simpson said that tandem parking should be allowed for employees of a business, but not for patrons. Zemenak added that it could be hard to enforce, but could work. Sharp disagreed allowing employees to tandem park, but it would make sense for fleet vehicles. Peterson expressed that tandem parking is common in the Downtown. Williams said that tandem parking for employees could be allowed in the Downtown districts, which Simpson supported.

Simpson asked if car-share parking reduces the parking requirement for those taking rideshare services. Williams clarified that car-share parking is when a car is provided on-site, like Zipcar, but it is not applicable to rideshare.

Sharp found the minimum stacking requirements for car washes and drug stores to be too low. Williams explained that this is a new regulation to the Village, and that staff and the consultant looked at other communities to see what the best minimum is.

### Article X: Tree Preservation and Landscaping

Williams explained that most of the language comes from the existing Chapter 80 of the Municipal Code, as it fits better in the zoning ordinance. He explained that many of the provisions from Chapter 80 were amended within the last few years.

Sharp confirmed that the tree measurement is based on the caliper size, not the diameter at breast height (DBH). Sharp asked how it is determined that a property can accommodate replacement trees. Williams responded that it is determined by the Village Forester and dependent on the size of the tree being removed.

Sharp asked for the applicability of landscaping regulations in 10.07(C-D) be clarified as it relates to multi-unit residential developments.

Lynn asked if there were restrictions on a property owner cutting down a tree on their property. Hennerfeind explained regulations on removing heritage trees, which is outside of the zoning ordinance.

Sharp voiced concerns on regulating tree pruning in accordance with ANSI A300. Williams replied that the regulation is applicable to properties with approved landscaping plans, not single-family detached homes.

### Article XI: Signs

Williams explained that there were not many changes to signage regulations, as a significant text



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amendment updated the regulations a few years prior.

Sharp raised concerns with the prohibition on lighting around window borders and architectural elements. Williams replied that the prohibition is to avoid directing light towards large sign elements, and gave an example of an ice cream shop having a large ice cream cone with lights directed at it. Sharp requested it be clarified to meet what the Village is attempting to prohibit. Simpson added that it should be clarified that this regulation is applicable to commercial properties.

Carmichael asked if an inflatable rat would be considered a sign. Zemenak replied that if it has lettering on it, directs attention to the business, and is permanently outside, it would likely be a sign.

Sharp found a grammar mistake in Sec. 11.03(E).

Staff explained that many of the regulations were amended to be content-neutral.

Sharp recommended allowing grand opening signs to be up before the business opens. Hennerfeind replied that a new business can request a temporary banner before they open, but the grand opening signage regulations were designed specifically for after a business begins operating.

Peterson asked for clarification on how the maximum sign area is determined for businesses that are allowed wall signs on the front and back of the building. Williams explained that using only the front facade is an existing regulation.

Carmichael and Lynn asked why not use both frontages to determine the maximum sign area. Hennerfeind replied that it is to avoid having large signs directed to a residential district, and that the previous sign text amendment allowed for more signage than neighboring communities.

Williams explained that the temporary sign fee would likely be removed in the revisions presented at a future meeting.

Staff clarified how sign measurements are taken. Sharp said that “smallest rectangle” should be replaced with “smallest polygon” in Sec. 11.11(A)(2).

### Article XII: General Development Regulations

Williams explained that the outdoor lighting regulations are applicable to commercial properties so an undue burden is not placed on residents. Hennerfeind further explained the changes in outdoor lighting regulations, adding that these regulations will be applicable to new commercial development, not existing.

Zemenak asked if there were outdoor lighting regulations on detached, semi-detached, and two-unit houses. Williams replied there are not. Zemenak recommended adding a lumen limit, which he has seen be an issue in other communities who do not have a limit. Simpson asked if it is better regulated as a nuisance. Hennerfeind voiced concerns about code enforcement processes related to outdoor lighting limits on residential properties.

Carmichael referenced a public comment on Sec. 12.01(F)(1) that recommended intermittent lighting not be exempt from the regulations of the subsection. Simpson asked for the clarification of the scope of the regulation. Williams explained that for new developments, all lighting except for intermittent lighting would



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need to be shielded. Sharp found that it is a good lighting design to have it shielded.

Lynn and Simpson asked when an existing development would need to comply with the outdoor lighting regulations. Williams replied that if it was a new lightpost in a new area, it would need to meet the requirements, but not when a fixture is switched out. Hennerfeind recommended stating what the trigger is in the section.

Lynn questioned light spillage over property lines along Ogden Avenue. Zemenak responded that the standard has been to have zero footcandles at the property line, and that businesses can request a variance to the limit. Williams added that light trespass at lot lines is limited by the abutting zoning district.

Zemenak asked when measuring footcandles at the lot line, if it takes into account street lighting or ambient lighting. Williams believed it is regulated in Article XVI Measurements.

Zemenak asked if lighting overhanging the right-of-way in the downtown exceeding the light trespass limit is a concern. Hennerfeind replied yes, and that measurement tools would need to be acquired.

Simpson asked what types of businesses could have issues with outdoor lighting regulations. Williams replied that banks have specific standards.

Lynn indicated that the lighting standards seem too restrictive. Donoghue found that there will be complaints either way, but said that there should be standards. Zemenak added that the standards are more relaxed than what the zoning ordinance currently allows.

Simpson found the regulations well-intended, but would be difficult to comply with.

Sharp expressed support for the options for lighting plans in Sec. 12.01(H).

Sharp asked where the 10 foot sight vision triangle for driveways is similar to other communities and if a fence would be allowed there. Williams replied the consultant likely found this to be consistent with other communities and that solid fences would not be allowed in the triangle.

Lynn referenced a project of his in the Village where a solid fence was installed to be outside of a sight vision triangle at the intersection of an alley and a street, noting that the end result looked nice.

### Article XIII: Nonconformities

Williams and Zemenak explained that most of the changes were clarifications, as there was a text amendment in 2023 that amended many of the regulations.

Lynn asked if this article's regulations would trigger the need for a fire sprinkler system in a residential home that does not have one. Williams responded that the fire sprinkler system requirement is in the fire or building codes, not the zoning ordinance.

Simpson asked if the decision of whether a nonconforming use can be expanded or not can be appealed. Williams said that appeals to administrative decisions are allowed.

Lynn asked if nonconforming setbacks can be maintained for second floor additions. Williams replied that



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there is an allowance for that scenario in Article II Residential Districts. Zemenak added that an addition can be made as long as the nonconforming setback is not increased.

### Article XIV: Review and Approval Procedures

Williams gave an overview of the changes to the review and approval procedures.

Lynn asked if civil drawings are required for site plans. Williams said he believes so, but it is not a zoning requirement.

Simpson recommended showing when a pre-application meeting is needed in a table. Williams replied that staff can look into the best way to display that information.

Lynn asked staff to clarify the ability to expand nonconforming setbacks vertically. Hennerfeind replied that the intent is to allow it for street yards because the effect is not as intense as a nonconforming interior side yard setback.

Sharp asked how commissioners can receive their packets sooner. Williams explained that the publishing of meeting materials depends on the public noticing requirements.

Simpson voiced concerns about having the public hearing notice requirements be the applicant's responsibility. Williams responded that the language is vague to give staff the flexibility to do the notice on applicants' behalf for residents, but to require projects with large staff and legal teams to do their own notice.

Hennerfeind explained the business-friendly features of administrative approvals.

Lynn asked a question about the permitting process. Williams explained that zoning does not control permitting requirements, but added that zoning applications are rejected if they are incomplete.

### Article XV: Administration and Enforcement

Sharp asked if withholding permits or other forms of authorization on other land owned by an owner with a violation on a separate property is common. Zemenak explained that it is discretionary, but can curb repeat offenders. Zemenak also explained that the Village has similar processes for withholding non-zoning approvals.

### Article XVI: Measurements

Williams explained that this is a new article to the zoning ordinance, and largely consolidates measurement regulations into one article instead of being scattered across the zoning ordinance.

Peterson questioned the contextual setbacks, asking if nonconforming properties are included. Williams replied yes.

Lynn and Sharp asked if a home can use the district's minimum front setback or take advantage of the contextual setbacks. Williams replied yes.

Simpson asked what the goal of the contextual setbacks is. Williams replied that this provision applies to



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residential properties.

Peterson asked how contextual setbacks will affect homes in the R-3 district. Williams replied that currently, a property can reduce the minimum front yard setback to as low as 25 feet, depending on the location of the home on adjacent properties. Lynn asked if the 25 foot limit is being dropped. Williams replied yes.

Lynn explained that contextual setbacks create a visual harmony to a neighborhood from the street.

Lynn asked if most of the R-3 zoned properties near the downtown use the 35 foot minimum front yard setback or do they use the contextual setbacks. Williams said that it is more common for those homes to be 25 feet or closer.

Lynn asked how homes that have a front yard setback larger than the minimum required play into the calculation, noting that homes setback far from the front property line would skew the result. Staff replied that in those scenarios, it can be added that the number used is the minimum required setback instead.

Sharp asked if the commission is comfortable with homes getting closer to the street over time. Peterson did not like allowing contextual setbacks, but she liked the variety of front setbacks currently in the Village. Williams explained that the contextual setbacks allow for more variety, as requiring homes to use the minimum setback creates a more uniform look over time.

Zemenak explained that contextual setbacks would reduce the number of variance requests, when the petitioner would point to their neighbor's setback.

Sharp said contextual setbacks should be limited on how much they can reduce the setback. Lynn said that 25 feet could be an appropriate limit. The commission generally supported a limit on the contextual setbacks.

Lynn revisited vertical additions to properties with nonconforming interior side yard setbacks in estate-like districts. Hennerfeind replied that the zoning ordinance would not allow that by-right, but the owner could request a variance.

Sharp said in Sec. 16.13(B), that the section should apply to screen walls or parapets.

### Article XVII: Definitions

Peterson asked why "bedrooms" was no longer defined. Staff replied that other codes that have regulations on bedrooms are better suited to define the term.

Sharp questioned if "diameter at breast height" was supposed to be defined.

Sharp asked if donation drop boxes were to have a maximum area, if it would be in the definition or in the accessory use article. Williams said it would be in the accessory use article.

Zemenak asked where the definition for "family community residence" and "group community residence" is. Williams replied that it is likely defined in the principal use article.

Zemenak voiced issues with the definition of trailers.



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Lynn found that the definition of “building height” references the incorrect section, and asked for clarification on where the measurement is taken from.

Simpson asked if the revised definition for “fleet vehicles” will be presented at the next meeting. Williams replied yes.

Sharp recommended clarifying the regulations applicable to boats, as a definition may address his concerns.

Simpson expressed issues with the definition of a “trailer”.

Sharp asked if removing the definition for “open air and tent sales” means that these businesses will not be allowed. Williams explained that other sections of the municipal code regulate these temporary uses.

## Public Comment:

Carmichael reopened the public comment. No members of the public were present to provide comments.

## MOTION 1

Motion by **Simpson** to *continue the public hearing to a special meeting on July 23, 2025 at 6:00 p.m.*

Seconded by **Sharp**.

## VOTING:

**Ayes:** 6 - Carmichael, Peterson, Donoghue, Lynn, Sharp, Simpson,  
**Nays:** 0  
**Absent:** 1 - Thomas

## Motion Passed

## 10. New Business

None.

## 11. Open Forum

Nobody spoke during the Open Forum.

## 12. Miscellaneous Items

- a. Next regular PZC on July 9, 2025 at 6:00 pm.
- b. APA-IL Plan Commissioner Training  
Carmichael informed the commission that the American Planners’ Association Illinois Chapter is hosting a training for plan commissioners at their state conference in Chicago this October, and encouraged them to attend. Williams added that it is a half day session, and more information is coming.
- c. Zemenak expressed his appreciation for the commissioners’ hard work throughout the update process.



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### 13. Adjourn

Motion by **Sharp** to adjourn the meeting.  
Second by **Simpson**.

*The Motion Passed on a unanimous voice vote.*

Meeting adjourned at **10:13** p.m.



VILLAGE OF WESTMONT  
PLANNING AND ZONING COMMISSION  
AGENDA ITEM

MEETING DATE: July 9, 2025

PZC 008-2025

**TITLE: Request from TGP Innovations LLC. d/b/a That Golf Place (Petitioner), and Pranno Corporation (Owner) at 212 East Chicago Avenue, Westmont, Illinois, 60559 for the following:**

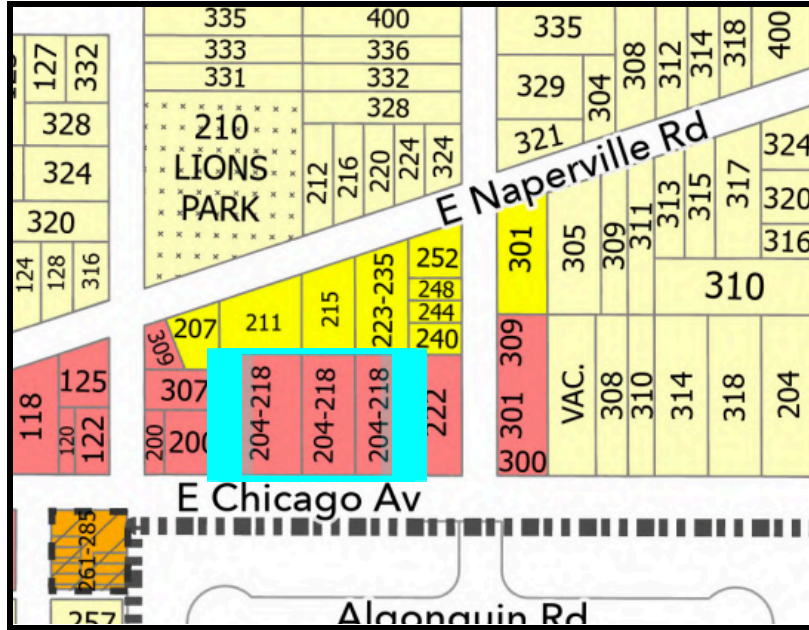
1. Special Use Permit to operate an amusement establishment in the B-2 General Business District
2. Zoning Ordinance Variance to the special condition that requires 100 foot distance separation between an amusement establishment and a residence district.

**I. BACKGROUND OF ITEM**

- A. Location: 212 East Chicago Avenue is located between Wilmette Avenue and Blackhawk Drive. The subject unit is within the multi-tenant commercial center at 204-218 East Chicago Avenue. This center hosts a restaurant, interior decorating shop, retail copy shop, and a tutoring business. The property is 355 feet by 225 feet, for an area of 79,875 square feet, or 1.83 acres.



Aerial Map - 212 East Chicago Avenue (source: DuPage County Parcel Viewer)



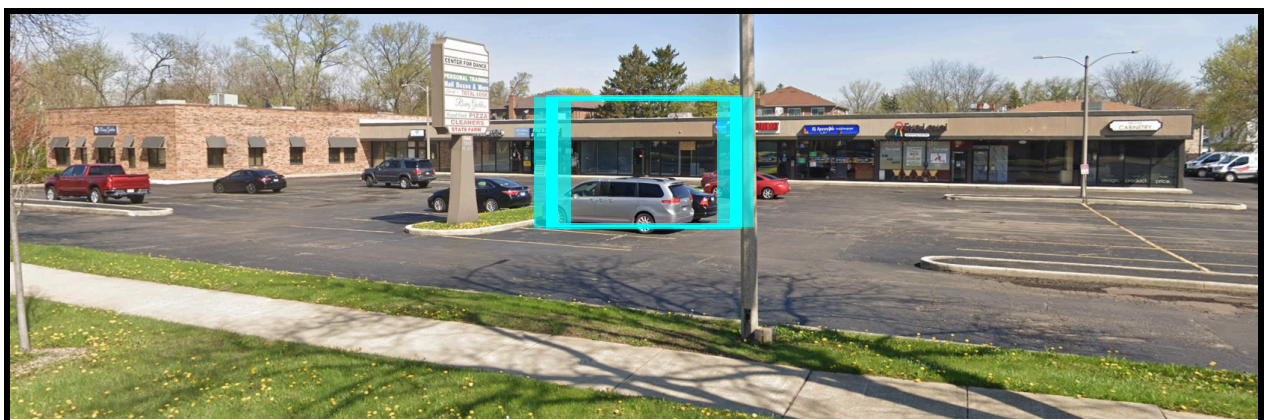
Zoning Map - 212 East Chicago Avenue

B. Zoning Designations:

<b>SUBJECT PROPERTY</b>	B-2 General Business District
<b>NORTH</b>	R-4 General Residence District
<b>SOUTH</b>	Village of Clarendon Hills (R-1 Single Family Residential District)
<b>EAST</b>	B-2 General Business District
<b>WEST</b>	B-2 General Business District

C. Neighborhood Characteristics

The lot is located in the A.T. McIntosh & Co.'s Resubdivision, Warren-Keeney 2nd Addition subdivision, which was recorded in 1921. It is on the eastern edge of the Village, bordering the Village of Clarendon Hills to the south. The Chicago Avenue corridor hosts many uses, including restaurants, offices, animal services, and a wide range of housing types. The surrounding properties in the Village of Clarendon Hills are single-family homes.



Street View - 212 East Chicago Avenue (source: Google)

**II. PETITIONER REQUEST:**

The petitioner has requested a Special Use Permit to operate That Golf Place, an electronic golf simulator amusement establishment, in the B-2 General Business District. The petitioner is also requesting a variance to the special condition that requires a 100 foot separation distance between an amusement establishment and the residential district to the north due to the existing building being constructed within 100 feet of the rear property line.

**III. ZONING ANALYSIS**

A. Zoning and Comprehensive Plan Designations

The current zoning district of the property is B-2 General Business District, which allows for a wide variety of retail, restaurant, and service uses. The subject property is a multi-tenant center with multiple commercial businesses.

The Comprehensive Plan designates the future land use in this area as General Commercial, which describes the designation as an area “...intended to accommodate less intense commercial uses to primarily cater to the day-to-day needs of Westmont residents.” The Plan also advises that commercial uses “...should be generally compatible with nearby residential areas.”

More specifically, the Comprehensive Plan identifies this property in the Naperville & Cass Subarea, which is described as having “...a unique mix of commercial, residential, and light industrial uses...” and “...enhancements are needed to ensure compatibility between differing uses and create a more unified appearance within the subarea.” The Plan further identifies the property as suitable for residential transition, which should “...transition from concentrated commercial activity to a mix of commercial and residential uses.” The concentrated commercial area is in reference to the intersection of Naperville Road and Cass Avenue, where traffic generating uses are more appropriate.

B. Entitlement Request

The petitioner has provided a project narrative and supporting documentation for the following requests, including the necessary responses to the Variance and Special Use Standards and special conditions. Any corresponding standards for entitlement approval consideration can be referenced in item V(B) below.

- **Special Use Permit request to operate an amusement establishment in the B-2 General Business District**

Appendix A, Section 7.03(A)(1) requires that all amusement establishments obtain a Special Use Permit in B-2 District to assess impacts like traffic, activities, number of employees, and operating hours. In addition to the Special Use Standards (Sec. 13.09), amusement establishments have the following Special Condition, as listed in Sec. 7.04(1):

1. “Such special use may be permitted provided that no buildings or outdoor portions of the lot containing such use are located within 100 feet of a residence district”

The petitioner has provided the necessary responses to the special use standards and is requesting a variance to the special condition due to the existing building and unit being approximately 25 feet from the north property line, which borders a residential district.

The petitioner describes the business as a members-only indoor golf and training facility with fitness

components. The proposed hours of operations are 4:00AM to 11:00AM on weekdays and 4:00am to 12:00AM on weekends. The petitioner expects peak customer activity to be between 9:00 AM and 9:00 PM, accounting for approximately 90% of facility foot traffic.

A manager or designated team member will be on-site daily for routine cleaning, sanitization, merchandise organization, maintenance, and preparation of simulator and fitness areas. Staffing levels will align with member usage and seasonal trends; however, periods without on-site staff may occur based on operational considerations. Additional coverage will be scheduled as required for oversight and service quality.

Access is restricted to members who complete a facility orientation and membership overview. Members must reserve simulator or training bay time in advance; walk-in access would not be permitted.. Entry is permitted only during reserved sessions, establishing an appointment-only operational model. Remote security and camera systems provide active monitoring during off-peak times.

Appendix A, Section 10.06(B)(3)(b) states that the existing parking in multi-tenant commercial buildings, like the subject property, is deemed conforming.

The use must be considered to the Special Use standards, which are noted below:

*Standards for Special Uses Sec. 13.09(D):*

*A proposed special use shall substantially meet the following standards in order to obtain the recommendation of the planning and zoning commission and approval of the board of trustees:*

- 1) That the establishment, maintenance or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.*
- 2) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.*
- 3) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*
- 4) That adequate utilities, access ways, drainage and/or other necessary facilities have been or are being provided.*
- 5) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.*
- 6) That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the village board pursuant to the recommendation of the plan commission.*

- **Zoning Ordinance Variance request to the special condition that requires 100 foot distance separation between an amusement establishment and a residence district.**

As previously stated, the subject unit and existing building is within 25 feet of a residence district (R-4 General Residence), meaning it does not meet Special Condition #1. In order to operate, the petitioner is requesting a variance to this condition.

The petitioner has provided the necessary responses to the variance standards. Additionally, the petitioner has indicated all activities would be indoors within a sound-dampened, professionally managed setting. No outdoor programming, amplified sound, or late-night gatherings will occur.

Simulator bays will be acoustically treated to reduce noise transmission. As noted prior the user will utilize a membership and reservation model to better predict and control access.

The use must be considered to the Variance standards, which are noted below:

Standards for Variations Sec. 13.07(D)

*The planning and zoning commission shall not recommend a variation to the regulations of this comprehensive amendment as authorized herein unless it shall have made findings of fact based upon the evidence presented to it in each specific case that:*

- (a) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located;*
- (b) The plight of the owner is due to unique circumstances; and*
- (c) The variation, if granted, will not alter the essential character of the locality.*

**IV. SUMMARY**

The petitioner has requested a Special Use Permit to operate That Golf Place, an amusement establishment, in the B-2 General Business District. The petitioner is also requesting a variance to the special condition that requires a 100 foot separation distance between an amusement establishment and the residential district to the north due to being 25 feet from a residentially-zoned property. The request is subject to the standards of a special use permit approval and the variance request.

**V. LEGAL**

- A. Notification: A legal notice was published in Westmont Suburban Life on June 19, 2025.
- B. Code References: Appendix A: Section 7.03(A)(1); 7.04; 13.07; 13.09
- C. Other Action: The recommendation made by the Planning and Zoning Commission will be referred to the Village Board for a final decision, which is anticipated to be on July 24, 2025.

**VI. DOCUMENTS ATTACHED:**

- 1. Publication notice appearing in the June 19, 2025 Westmont Suburban Life.
- 2. Petitioner Attachments received May 8, 2025 (Edited for PZC):
  - a. Planning and Zoning Development Application
  - b. Project Narrative
  - c. Responses to the Special Use Standards and Variance Standards
  - d. Floor Plans
  - e. Site Plans
  - f. Legal Description
  - g. Signed Lease Agreement

Certificate of the Publisher

Westmont Suburban Life

Description: PZC 212 E CHICAGO AVE  
2252833

VILLAGE OF WESTMONT  
31 W QUINCY ST  
WESTMONT IL 60559

Shaw Media certifies that it is the publisher of the Westmont Suburban Life. The Westmont Suburban Life is a secular newspaper, has been continuously published weekly for more than fifty (50) weeks prior to the first publication of the attached notice, is published in the Village of Westmont, County of DuPage, State of Illinois, is of general circulation throughout that county and surrounding area, and is a newspaper as defined by 715 ILCS 5/5.

A notice, a true copy of which is attached, was published 1 time(s) in the Westmont Suburban Life, namely one time per week for one successive week(s). Publication of the notice was made in the newspaper, dated and published on 06/19/2025

This notice was also placed on a statewide public notice website as required by 715 ILCS 5/2.1.

In witness, Shaw Media has signed this certificate by Laura Shaw, its Publisher, at Westmont, Illinois, on 19th day of June, A.D. 2025

Shaw Media By:



Laura Shaw, Publisher

Account Number 10074602

Amount \$110.70

**PUBLIC NOTICE**  
**LEGAL NOTICE / PUBLIC NOTICE VILLAGE OF WESTMONT PLANNING AND ZONING COMMISSION NOTICE OF PUBLICATION**  
 NOTICE IS HEREBY GIVEN that a public hearing has been scheduled before the Westmont Planning and Zoning Commission to be held on Wednesday, July 9, 2025 at 6:00 P.M. in the Westmont Village Hall, 31 W. Quincy St., Westmont, Illinois 60559.

The purpose of the hearing is to consider a request from TGP Innovations LLC, d/b/a That Golf Place (Petitioner), and Pranno Corporation (Owner), for the property at 212 East Chicago Avenue, Westmont, Illinois, 60559, for the following:

- Special Use Permit to operate an indoor golf simulator facility amusement establishment in the B-2 General Business District.
- Zoning Ordinance Variance to the special condition that requires 100 foot distance separation between an amusement establishment and a residence district.

PIN: 09-03-313-010; 09-03-313-006; 09-03-313-007

More Common Location: 212 East Chicago Avenue, Westmont, Illinois, 60559  
 Village Code(s) Applicable: Appendix A, Sections 7.03 (A)(1); 7.04; 13.07; 13.09

Note: Any person who has a disability requiring a reasonable accommodation to participate in the meeting should contact the ADA Compliance Officer, 8:00 A.M. to 4:00 P.M. Monday through Friday, Village of Westmont, Illinois, 60559; or telephone (630) 981-6210 voice, within a reasonable time before the meeting. All interested persons in attendance will be allowed to express their views.

WESTMONT PLANNING AND ZONING COMMISSION  
 Doug Carmichael,  
 Chairperson  
 (Published in Westmont Suburban Life June 19, 2025) 2252833



# Village of Westmont Planning and Zoning Application and Instructions

Community Development Department  
31 West Quincy Street  
Westmont, Illinois 60559  
630-981-6260

<i>Office Use Only</i>
Date Received: _____
By: _____

---

**PROJECT NAME:** That Golf Place  
212 E Chicago Ave, Westmont, IL 60559  
**Subject Property Street Address:** \_\_\_\_\_  
**PIN Number(s):** 09-03-313-010

---

**PETITIONER / BILLING CONTACT (Agent and Project Manager for the Petition):**  
Petitioner (and corporation if applicable): TGP Innovations LLC Attn Pulkit Chauhan and Sidhardha Anumalasetty  
Address: 425 W Naperville Rd Westmont IL 60559  
Phone: 630-362-2289  
Email: thatgolfplace.corporate@gmail.com  
Relationship of Petitioner to Property Owner: Tenants and Business Owners

**PROJECT DESCRIPTION:** \_\_\_\_\_

That Golf Place is a modern indoor golf performance and fitness facility that will occupy a 2,200 square foot unit within an established multi-tenant commercial center in Westmont, Illinois. The space will feature advanced golf simulators, mobility and stretching zones, and app-based secure entry for approved members only. All activities will take place indoors, with acoustic treatments installed to ensure a quiet and contained environment. The facility is designed for small-group and individual use, with no walk-in traffic and no disruption to surrounding businesses. By activating a long-vacant storefront with a clean, technology-driven concept, That Golf Place adds value to the center while maintaining compatibility with neighboring commercial and residential uses.

**PROPERTY OWNER INFORMATION (IF DIFFERENT THAN PETITIONER):**

Property owner(s): Pranno Corp attn Jeff Pranno

Address: 6N230 Wheaton rd Roselle IL 60172.

Phone: 630-217-9205

Email: fisinred1@live.com

**BUSINESS OWNER INFORMATION (IF DIFFERENT THAN PETITIONER and PROPERTY OWNER):**

Property owner(s): \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

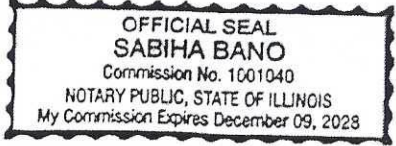
Email: \_\_\_\_\_

By signing below, the applicant and/or property owner acknowledge that the **Application fees are non-refundable** and that filling out this form is not a guarantee that the item will appear before the Planning and Zoning Commission. The applicant and/or property owner further acknowledge that all items recommended by Village planning staff for consideration by the Planning and Zoning Commission must have received technical approvals from the Consulting Engineer, the Consulting Landscape Architect, the Consulting Architect, the Village Forester and/or other Village staff, as deemed appropriate by the Community Development Department, before being recommended for consideration by the Planning and Zoning Commission. For this reason, while this is not a requirement, it is highly recommended that the applicant/property owner hire licensed professional engineers or architects when preparing their application materials.

**PETITIONER SIGNATURE:**

Type or print name: TCP Innovations LLC By Managers: Sidhardha Anumalasetty  
Pulkit Chandra  
Signature: [Signature], manager [Signature], manager

SUBSCRIBED AND SWORN TO BEFORE ME  
THIS 14<sup>th</sup> DAY OF May, 2025  
[Signature]  
Notary Public



**OWNER SIGNATURE:**

Type or print name: Jekhey Pranno Agent/President of Pranno Corporation  
Signature: [Signature] Jekhey Pranno Agent/President of Pranno Corporation

SUBSCRIBED AND SWORN TO BEFORE ME  
THIS 15 DAY OF May, 2025  
[Signature] Michael Tovella  
Notary Public



Village of Westmont  
Community Development Department  
31 W Quincy Street  
Westmont, IL, 60559

RE: Special Use Permit & Variance Request – That Golf Place  
212 East Chicago Avenue, Westmont, IL (PIN: 0903313010)

To the Village of Westmont Planning & Zoning Commission and Community Development Staff:

**TGP Innovations LLC** (“Applicant”) proposes the operation of a members-only indoor golf and training facility with fitness components at **212 East Chicago Avenue, Westmont, Illinois** (the “Property”), located within the B-2 General Business District. The business model focuses on scheduled reservations, noise-reducing features, controlled capacity, as well as fitness and instructional-oriented offerings. The proposed use initially includes two enclosed simulator bays, with an option to expand to four, for golf training and skill development, a stretching and fitness zone, and a reception area with incidental retail (e.g., branded merchandise or training aids). Interior soundproofing and minimal non-structural renovations will be completed to ensure a quiet, professional atmosphere appropriate for instructional use.

This modern, fitness-driven concept introduces a fresh, forward-looking business to Westmont, contributing to the continued revitalization of the center and supporting its evolution as a hub for fitness and professional services. The nature of the facility—where members schedule visits and remain on-site for extended, appointment-only sessions—naturally supports surrounding businesses by increasing visibility and encouraging patronage of nearby establishments. Members may visit neighboring businesses before or after appointments, including food and beverage options such as the adjacent restaurant or bar and grill, and may benefit from complementary services offered by other health, wellness, or lifestyle providers in the area.

It is important to note that all activities will take place entirely indoors within a sound-dampened, professionally managed setting. There will be no outdoor programming, amplified sound, or late-night gatherings, and the nature of the membership-based model ensures a quiet, predictable user flow. Simulator bays will be acoustically treated with industry-standard materials to reduce noise transmission. Access to the facility is controlled by secured and automated entry, further minimizing disruption concerns. As such, the use poses no threat to the comfort, quiet enjoyment, or property values of adjacent residences or businesses. Rather, the proposed use complements the low-intensity commercial character of the block and aligns with existing precedent for instructional and fitness-oriented operations in this center.

To operate this facility in accordance with Village code, the Applicant respectfully seeks a special use permit and variance to allow the proposed use within the B-2 zoning designation.

## ITEMIZATION OF RELIEF

The following zoning relief is respectfully requested by the Applicant:

- Special Use Permit – Pursuant to Appendix A, Section 7.03(A)(1) of the Westmont Zoning Ordinance, to allow the operation of an indoor amusement or recreation establishment—including simulator-based golf training—as a special use within the B-2 General Business District. The proposed facility will operate as a members-only fitness-focused training center that integrates indoor golf with wellness and performance-enhancing programs. This includes simulator-based instruction, stretching and mobility space, and incidental retail related to the training use. No structural or exterior modifications are proposed to the Property, and the use will function entirely within the existing commercial footprint.
- Variation from Residential Separation Requirement – Pursuant to Appendix A, Section 7.03(A)(1) and Appendix A, Section 7.04(1) of the Westmont Zoning Ordinance, and evaluated under the standards set forth in Appendix A, Section 13.07(D), to permit a special use (amusement establishments) “provided that no buildings or outdoor portions of the lot containing such use are located within 100 feet of a residence district.” The Property lies adjacent to an R-district to the north and cannot meet the 100-foot separation due to existing site and zoning conditions.

No other variances for signage, parking, landscaping, or setbacks are requested at this time. Should minor clarifications or additional relief be identified during the hearing process, the Applicant remains willing to coordinate with Village staff to address such matters. The Applicant also respectfully seeks such other and further relief as may be deemed necessary or appropriate.

The application consists of the following materials with folder names:

- Cover Letter (this document)
- Planning and Zoning PDF Application - (*TGP\_SUP\_APPLICATION*)
- Property Description - (*TGP\_PROPERTY\_DESCRIPTION*)
- Surrounding Zoning and Land Use - (*TGP\_SURROUNDING\_ZONING\_AND\_LAND\_USE*)
- Standards for Special Use - (*TGP\_STANDARDS\_FOR\_SPECIAL\_USE*)
- Special Use Standards - Special Condition - (*TGP\_SPECIAL\_USE\_STANDARDS\_SPECIAL\_CONDITION*)
- Findings of Fact for Variance - (*TGP\_FINDINGS\_OF\_FACT\_FOR\_VARIANCE*)
- Hours of Operation and Employee Overview - (*TGP\_Hours\_of\_Operation\_and\_Employee\_Overview*)
- Floor Plans w/ Dimensions - (*TGP\_Dimesions\_Floor\_Plan.pdf*)
- Operational Layout - (*TGP\_Layout\_FloorPlan*)
- Site Plans - (*TGP\_SITE\_PLAN*)
- Proof of Ownership w/ signed lease - (*TGP\_NOTARIZED\_LEASE\_LAST\_PAGE*)

Sincerely,  
Sidhardha Anumalasetty & Pulkit Chauhan (Westmont Resident)  
Founders  
TGP Innovations LLC  
thatgolfplace.corporate@gmail.com

## ***HOURS OF OPERATION AND EMPLOYEE OVERVIEW***

**Business Name:** That Golf Place

**Business Address:** 212 East Chicago Avenue, Westmont, Illinois 60559

**Business Type:** Indoor Golf Performance and Fitness Facility

### **Hours of Operation:**

That Golf Place will operate daily from 4:00 AM to 11:00 PM on weekdays and from 4:00 AM to 12:00 AM on weekends. The primary hours of customer activity are expected to occur between 9:00 AM and 9:00 PM, during which approximately 90 percent of the facility's traffic is anticipated.

### **Employee and Facility Oversight:**

A manager or designated team member will be on-site daily to perform essential duties. These responsibilities include routine cleaning and sanitization, merchandise organization, light maintenance, and the preparation or resetting of simulator and fitness areas. This regular presence ensures the facility remains clean, safe, and professionally maintained, reflecting the business's commitment to high operational standards and seamless integration within the surrounding commercial and residential properties. While staffing will be responsive to member usage patterns and seasonal trends, there may be strategically determined periods during the day when staff are not present on-site, based on timing, demand, and other operational considerations. Additional coverage will be scheduled as needed to ensure continued oversight and service quality.

### **Membership Access and Booking Requirements:**

All prospective members are required to schedule and complete a facility orientation and membership overview prior to receiving access credentials. Once approved, members must reserve their simulator or training bay time in advance of each visit. Walk-in access is strictly prohibited, and entry is only permitted during reserved sessions. This controlled, appointment-only model is a foundational principle of the business, allowing ownership and management to closely regulate facility use, maintain predictable traffic patterns, and ensure safety and accountability at all times. In addition to on-site oversight during peak hours, the facility is actively monitored through a remote security and camera system, enabling owners and designated personnel to observe and manage member activity during off-peak times. This approach provides a high level of operational control and safety even when staff are not physically present.

### **Additional Notes:**

Facility maintenance, cleaning, and equipment sanitization will occur routinely to uphold cleanliness and hygiene standards. Staffing schedules will remain flexible and responsive to fluctuations in demand, ensuring continued oversight and minimal external impact throughout the year.

## ***PROPERTY DESCRIPTION***

The Property is located at **212 East Chicago Avenue, Westmont, Illinois**, on the north side of Chicago Avenue, east of Wilmette and west of Blackhawk Drive, and is identified by **PERMANENT INDEX NO.: 09-03-313-010**. It comprises approximately 2,200 square feet of leasable area within an established multi-tenant commercial strip center zoned B-2 General Business District.

The unit is currently vacant and was recently occupied by a retail space and dance studio, with past uses also including instructional and retail operations. The interior layout includes a front reception area with incidental retail potential, two restrooms, a service/storage room, and two partitioned studio zones. The Applicant proposes only minor interior renovations—including installation of acoustic treatments, simulator and fitness equipment, and minor layout enhancements to facilitate designated simulator bays and mobility/stretching areas. No exterior construction, signage changes (beyond standard wall-mounted signage), or structural modifications are planned.

The Property features a dedicated private entrance and is surrounded by compatible neighborhood-serving commercial uses, including food service and retail tenants. The shared parking lot provides ample off-street parking for customer use. There are no trees, landscaping, or exterior site features that will be altered by the proposed use.

Critically, all activities will be conducted indoors, with member access controlled through secure, app-based keyless entry. The nature of the business—quiet, low-volume, reservation-based training sessions—ensures no spillover noise, light, or foot traffic affecting neighboring properties. Professionally designed soundproofing within the simulator bays will further limit sound transmission. Unlike higher-traffic commercial uses or entertainment venues, That Golf Place is intentionally designed to operate discreetly and respectfully within its environment.

Given the Property's location within a transitional zone buffering commercial and residential uses, its limited footprint, and lack of exterior disruption, the proposed use represents an ideal fit. It aligns with both the zoning and the practical context of the area, activating a long-vacant storefront with a modern, community-oriented wellness concept that supports the vitality of the center while fully preserving the character and quality of adjacent residential areas.

## ***PROJECT DESCRIPTION***

That Golf Place is a modern indoor golf performance and fitness facility that will occupy a 2,200 square foot unit within an established multi-tenant commercial center in Westmont, Illinois. The space will feature advanced golf simulators, mobility and stretching zones, and app-based secure entry for approved members only. All activities will take place indoors, with acoustic treatments installed to ensure a quiet and contained environment. The facility is designed for small-group and individual use, with no walk-in traffic and minimal disruption to surrounding businesses. By activating a long-vacant storefront with a clean, technology-driven concept, That Golf Place adds value to the center while maintaining compatibility with neighboring commercial and residential uses.

## ***STANDARDS FOR VARIATION***

In addition to the submitted Findings of Fact for the requested variation, the Applicant is providing supplemental information addressing the Standards for Variance. In accordance with the Village's requirements, and for the purpose of implementing the applicable rules, the Planning and Zoning Commission shall consider whether practical difficulties or particular hardships exist. In making its recommendation, the Commission is directed to take into consideration the extent to which the following facts, favorable to the Applicant, have been established by the evidence presented.

In accordance with **Appendix A, Section 13.07(D)(2)(a-f)** of the Westmont Zoning Ordinance, the following standards apply in cases of practical difficulty or particular hardship. The Applicant respectfully submits that the requested variance satisfies each of these criteria, as set forth below:

**(A) The particular physical surroundings, shape or topographical features of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.**

**Response:**

The hardship in this case results from the specific physical location and layout of the Property, not from a mere inconvenience or business preference. The subject unit is situated at the rear of an existing commercial strip center and directly abuts a residential zoning district across a narrow alley. This fixed configuration makes it impossible to achieve the 100-foot separation required for amusement-classified uses. No alternative unit within the center offers both sufficient setback and the necessary visibility or functionality for a training-based business. Absent the requested variance, the property cannot be reasonably used for a low-impact amusement use like That Golf Place, despite otherwise conforming to the character and intensity of allowable commercial uses in the district.

**(B) The conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification.**

**Response:**

While multiple units within the commercial center may be located within 100 feet of a residential zoning district, the requested variance is specific to the proposed use and the location of the Applicant's unit. That Golf Place is classified as an "amusement establishment," which uniquely triggers the 100-foot separation requirement—unlike many other retail or service uses within the center. The combination of this use classification and the unit's placement at the rear of the property, where no compliant separation exists, creates a distinct circumstance. This request is therefore not broadly applicable to other B-2 properties, but arises from the intersection of the use type and the physical location of the space.

**(C) The purpose of the variation is not based exclusively upon a desire to make more money out of the property.**

**Response:**

The purpose of the requested variation is not based exclusively on a desire to increase profitability. Rather, it is necessary to enable the reasonable use of the space for a low-impact, fitness-oriented training facility that would otherwise be barred solely due to its use classification. The Applicant has intentionally limited occupancy and capped membership to ensure quiet operation and compatibility with the surrounding area. The requested relief is not intended to maximize revenue, but to allow the business to

function within the constraints of the site while adhering to sound planning principles and community standards.

**(D) The alleged difficulty or hardship has not been created by the owner of the property.**

**Response:**

The hardship was not created by the Applicant. The physical configuration of the site and its proximity to a residential zoning district are longstanding conditions that predate the Applicant's involvement. These constraints were in place at the time the lease was contemplated, and the Applicant has acted in good faith to comply with Village expectations for low-impact commercial operations. The need for relief arises from zoning provisions that unintentionally restrict reasonable use of the space based on use classification—not from any modification, development decision, or action taken by the Applicant. The request is consistent with the Village's criteria for granting zoning variations under Appendix A, Section 13.07.

**(E) The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.**

**Response:**

Granting the requested variance will not be detrimental to the public welfare or injurious to surrounding property or improvements. The proposed use will operate entirely indoors, with no exterior noise, amplified sound, lighting changes, or disruptive signage. Traffic and parking impacts will be minimal due to the reservation-only model, which staggers member visits and limits peak activity. The simulator bays will be soundproofed to prevent noise transfer to adjacent tenants or nearby residences. Access to the facility is controlled through secure digital entry and scheduling systems, ensuring occupancy limits are enforced and unauthorized entry is prevented. In addition to minimizing impact, the business will provide a public benefit by offering free or discounted simulator time and lessons to youth from underserved households—supporting wellness, mentorship, and equitable access to the game of golf.

**(F) The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair the property values within the neighborhood.**

**Response:**

The proposed variation will not impair access to light or air for adjacent properties, as no exterior construction, vertical expansion, or structural modifications are planned. The use will not increase congestion in public streets, as the facility operates on a low-traffic, reservation-only model that staggers member arrivals and limits peak demand. There is no impact to fire access, as the space will remain fully compliant with existing fire code requirements, including egress, alarms, and sprinkler systems. The facility's secure, member-only entry and limited occupancy promote a safe and controlled environment, with no risks to public safety. Finally, the business is expected to maintain or enhance surrounding property values by modernizing the space and contributing to the overall appeal and vitality of the commercial center.

## FINDINGS OF FACT FOR VARIANCE

**Requested Relief:** A variation from **Appendix A, Section 13.07(D)(1)(a-c)** of the Westmont Zoning Ordinance, which requires a minimum 100-foot separation between special uses classified as indoor amusement or recreation and adjacent residential zoning districts.

**(A) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located.**

**Response:**

The property cannot yield a reasonable return if limited solely to uses permitted by right within the B-2 District. While the site supports retail and service uses in theory, the building's configuration and proximity to a residential district restrict its appeal to modern tenants, particularly those requiring flexible space for amusement or fitness-based activity. Uses classified as "amusement establishments," such as That Golf Place, are effectively barred due to the 100-foot separation requirement, despite being low-impact and commercially appropriate for the site. Without the requested special use and variance, the space remains difficult to lease or adapt for viable long-term tenancy, impairing its economic utility and return potential.

**(B) The plight of the owner is due to unique circumstances.**

**Response:**

The plight of the owner arises from unique circumstances related to the Property's physical location and regulatory context. The subject site is part of a longstanding commercial strip center that predates current zoning standards and directly abuts a residential district across a narrow alley. On a logistical level, this proximity makes it physically impossible to meet the 100-foot separation requirement for amusement-classified uses without altering parcel boundaries or displacing neighboring land uses. This hardship is not self-created, nor is it a result of the proposed use's character, but rather stems from the site's placement within a transitional zoning area that unintentionally limits reasonable use under current regulations.

**(C) The variation, if granted, will not alter the essential character of the locality.**

**Response:**

The requested variation will not alter the essential character of the locality. The proposed use will operate entirely indoors, without amplified sound, exterior activity, or prominent signage that might affect nearby residences. The business is limited to small-group, reservation-only sessions, and additional soundproofing will be installed to ensure all activity remains contained. Compared to other approved special uses in the same center—such as a dance academy—That Golf Place represents a lower-impact, quieter operation. The facility is consistent with the area's transitional commercial-residential character and will not negatively affect the use, enjoyment, or value of surrounding properties.

## **STANDARDS FOR SPECIAL USE**

In accordance with Appendix A, Section 13.09(D)(1-6) of the Westmont Zoning Ordinance, the following standards must be met for the Village to grant a special use permit. The Applicant submits that the proposed use at 212 East Chicago Avenue satisfies each of these criteria, as demonstrated below:

### **(1) Public Health, Safety, and Welfare**

*That the establishment, maintenance or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.*

The establishment and operation of this members-only facility will not be detrimental to public health, safety, morals, comfort, or general welfare. From a public health standpoint, the facility promotes physical wellness through golf-focused fitness training and stretching programs. It does not involve any hazardous materials or activities. Regarding safety, access is controlled through a secure, keyless entry system, with use limited to verified members and monitored by interior and exterior security cameras. Morals are upheld by the private, appointment-only nature of the business—no alcohol, gambling, or public entertainment is offered, ensuring a respectful and professional atmosphere. Comfort is preserved through soundproofed simulator bays, capped membership, and a maximum occupancy of eight users at any given time. These constraints also support the general welfare of the surrounding neighborhood by limiting traffic, noise, and disruptions, while enhancing community wellness by offering youth clinics and instructional programming.

### **(2) Impact on Adjacent Properties**

*That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.*

The proposed special use will not be injurious to the use and enjoyment of neighboring properties, nor will it substantially diminish or impair property values within the neighborhood. That Golf Place will operate as a low-impact, appointment-only training facility, with no public events, late-night gatherings, or amplified music—minimizing disruptions to nearby tenants. The simulator bays will be individually soundproofed with acoustic materials designed for indoor sports use, ensuring that noise does not extend beyond the leased premises. The surrounding businesses, including a restaurant and bar, operate at similar or higher intensity levels, making this use compatible with the existing commercial environment. Additionally, the introduction of a modern, well-maintained facility is likely to strengthen the center's overall appeal and marketability, supporting stable or increased property values and benefiting adjacent tenants through additional customer exposure.

### **(3) Orderly Development and Use of Nearby Properties**

*That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

The proposed use will not impede the normal and orderly development or improvement of surrounding properties for uses permitted in the B-2 District. That Golf Place will occupy an existing commercial unit with no exterior construction, expansion, or changes that would restrict access, visibility, or functionality for neighboring tenants. The members-only, appointment-based model generates low traffic and minimal noise, ensuring compatibility with adjacent uses and preserving a conducive environment for new or

continued development. Furthermore, the business contributes to the revitalization and active use of the center, encouraging foot traffic and investment that supports the broader goals of the Village's Comprehensive Plan.

**(4) Adequacy of Utilities and Infrastructure**

*That adequate utilities, access ways, drainage and/or other necessary facilities have been or are being provided.*

Adequate utilities, access ways, drainage, and other necessary facilities have been provided to support the proposed use. The subject space is located within an existing commercial strip center that is already served by fully operational infrastructure, including water, electricity, HVAC, telecommunications, and sanitary services. No upgrades to core systems are required. The site includes shared paved parking with direct access to Chicago Avenue, as well as established pedestrian access routes. Existing stormwater drainage systems are in place and sufficient to accommodate the low-impact nature of the proposed use, which does not involve exterior modifications or increased runoff.

**(5) Traffic Congestion and Access**

*That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.*

The existing site layout provides safe and sufficient ingress and egress, minimizing traffic congestion on public streets. The property is accessed via established curb cuts along Chicago Avenue and is served by an internal circulation system and a shared parking lot designed to accommodate multiple commercial tenants. That Golf Place's reservation-only model naturally limits traffic volume and staggers arrival times, reducing the potential for congestion. With capped membership and a maximum occupancy of eight users at a time, the facility is expected to generate significantly less traffic than other permitted uses in the B-2 District, such as restaurants or retail, and will not burden surrounding roadways.

**(6) Compliance with Zoning Regulations**

*That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the village board pursuant to the recommendation of the plan commission.*

The proposed use conforms to all applicable regulations of the B-2 General Business District, with the exception of the special use designation required for operation and the associated relief related to the site's proximity to a residential zoning district to the north. No additional variances are being sought for signage, landscaping, building setbacks, lot coverage, or other development standards. The facility will operate entirely within the existing building footprint and comply with all remaining zoning and building code requirements as administered by the Village.

***SPECIAL USE STANDARDS - SPECIAL CONDITION***

**(1) Such Special use may be permitted provided that no buildings or outdoor portions of the lot containing such use are located within 100 ft of a residence district.**

The Applicant acknowledges that the proposed use falls within 100 feet of a residential zoning district, and therefore requires both a Special Use Permit and a Variance to operate in accordance with Village requirements. All business activity will occur entirely indoors within the existing building footprint, with no exterior entertainment, amplified sound, or late-night outdoor operations. Outdoor use is limited to standard customer parking and ingress/egress. To further mitigate potential impacts on nearby residences, the simulator bays will be soundproofed with acoustic treatments, and access will be limited to vetted members using keyless entry and a reservation-only system. These safeguards ensure the use is quiet, controlled, and respectful of the surrounding area, consistent with the Village's intent in establishing this special condition.

## ***SURROUNDING ZONING AND LAND USE***

The subject property is located within the B-2 General Business District on the north side of East Chicago Avenue, positioned between Wilmette and Blackhawk Drive within a multi-tenant commercial strip center. This corridor forms part of the Village's transitional buffer zone between Westmont's concentrated commercial activity near Cass Avenue and its adjacent residential neighborhoods to the north and south.

Properties immediately east and west of the site are similarly zoned B-2 and are occupied by compatible commercial tenants, including retail, personal services, and instructional or activity-based businesses such as salons, fitness studios, tutoring centers, and light medical offices. These uses share a similar operational footprint and customer volume with That Golf Place, reinforcing the compatibility of the proposed business within the tenant mix and zoning context.

To the north, directly behind the subject property, lies a residential district zoned R-4, separated by an alley and rear buffer. This adjacency is a longstanding characteristic of this commercial block and has been previously acknowledged and managed through successful special use approvals for businesses with similar or greater operational intensity. The proposed golf training facility is entirely contained within the existing building envelope and introduces no exterior operations, amplified sound, or late-night traffic that might disrupt the residential character of nearby homes. Additionally, professionally installed soundproofing treatments within the simulator bays will ensure that all activity remains acoustically contained.

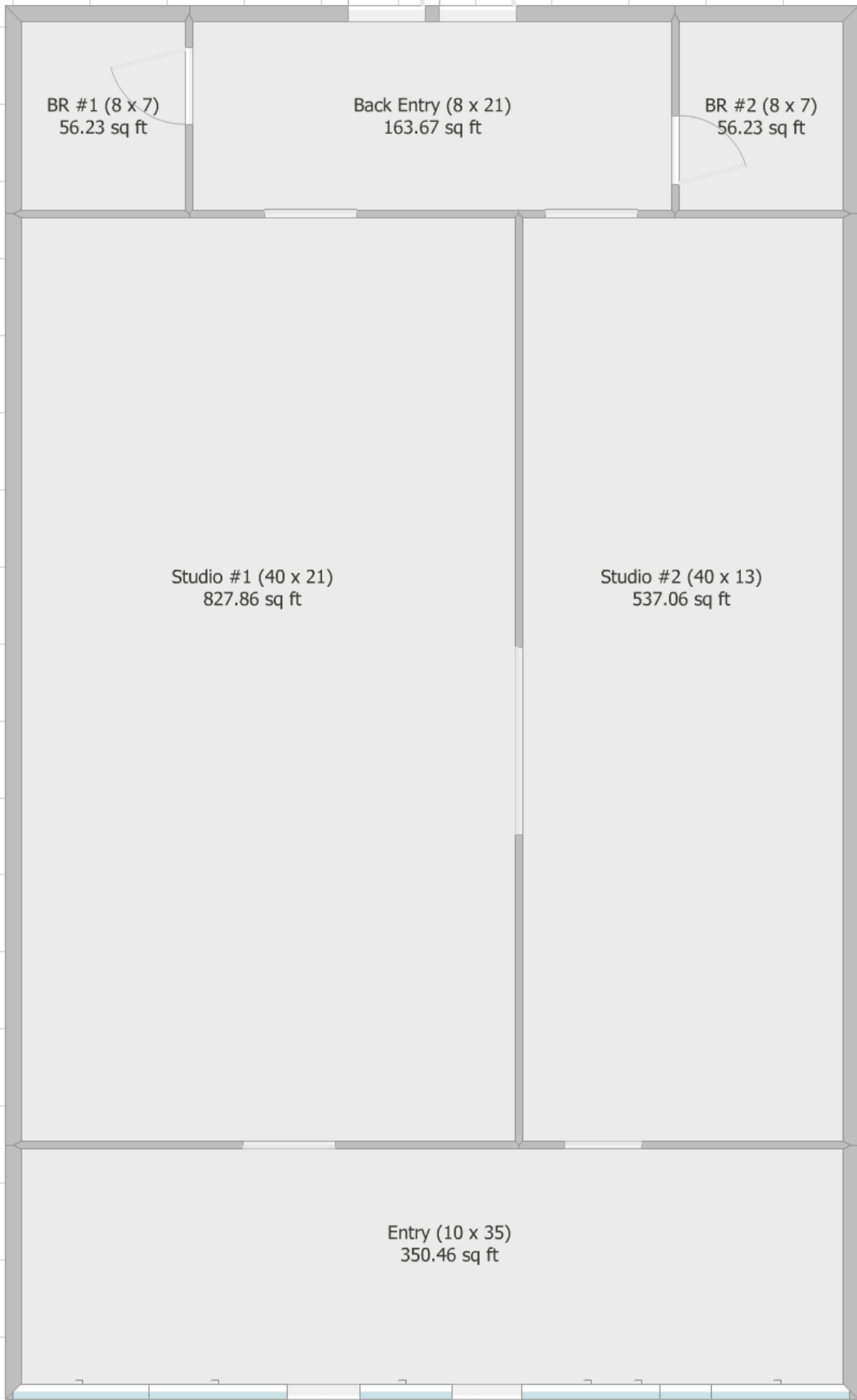
To the south, across Chicago Avenue, lies the Village boundary with Clarendon Hills, where single-family residential homes dominate the land use pattern. The subject site benefits from its strategic placement within a commercial corridor that is set back from residential frontages, and all member access and parking is confined to the shared surface lot located on the commercial side of the street. There will be no overflow, glare, or acoustic spillover affecting homes across the avenue.

Importantly, the property is also part of the Village's Central Business District TIF and is identified within the Naperville & Cass Subarea Plan of the Comprehensive Plan as a "Residential Transition" zone. This designation anticipates the evolution of the area into a blend of low-impact commercial and residential uses that soften the edge between Westmont's downtown core and its surrounding neighborhoods. The proposed use fully supports this policy vision by activating a vacant commercial space with a quiet, fitness-focused facility that generates minimal traffic, no exterior disruptions, and aligns with the area's intended character.

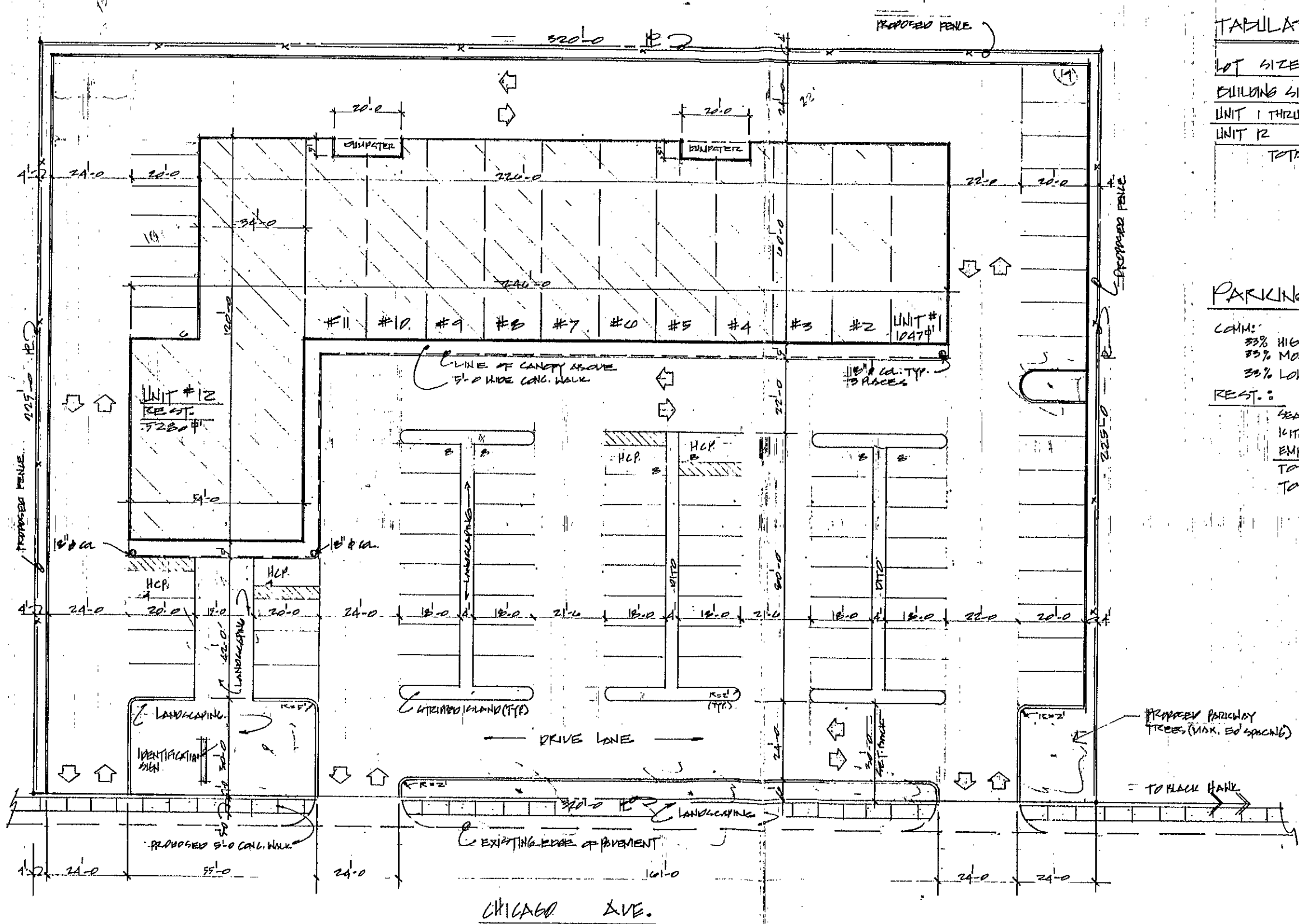
Operationally, the business will function on a strict reservation-only model, with secure access limited to members, and no walk-ins or group events. This inherently controls customer flow and prevents clustering or congestion. Typical sessions last 60–90 minutes, with small parties and staggered arrival times. Combined with the absence of exterior signage beyond that permitted by code, and the absence of any outdoor music, lighting, or noise, the use will not alter the visual or acoustic character of the neighborhood.

In terms of intensity and compatibility, the indoor golf and training facility closely mirrors other previously approved special uses within this same center—such as the Irish dance studio previously located in this very unit—but with a notably lower operational footprint. That Golf Place offers a more structured, member-controlled format, with fewer participants on-site at any given time and longer average session durations.

In summary, the proposed use is fully compatible with surrounding zoning and land uses, and poses no adverse impact on the continued enjoyment, value, or development of adjacent residential or commercial properties. Instead, it introduces a stable, forward-looking business that enhances the commercial corridor while preserving the peace, character, and quality of the neighborhood.







**TABULATION OF AREAS:**

LOT SIZE:	72,000 sq ft (1.09 AC)
BUILDING SIZE:	
UNIT 1 THRU 11 @ 1047	11,520 sq ft COMM.
UNIT 12	5,280 sq ft
TOTAL/FLAG	16,800 sq ft

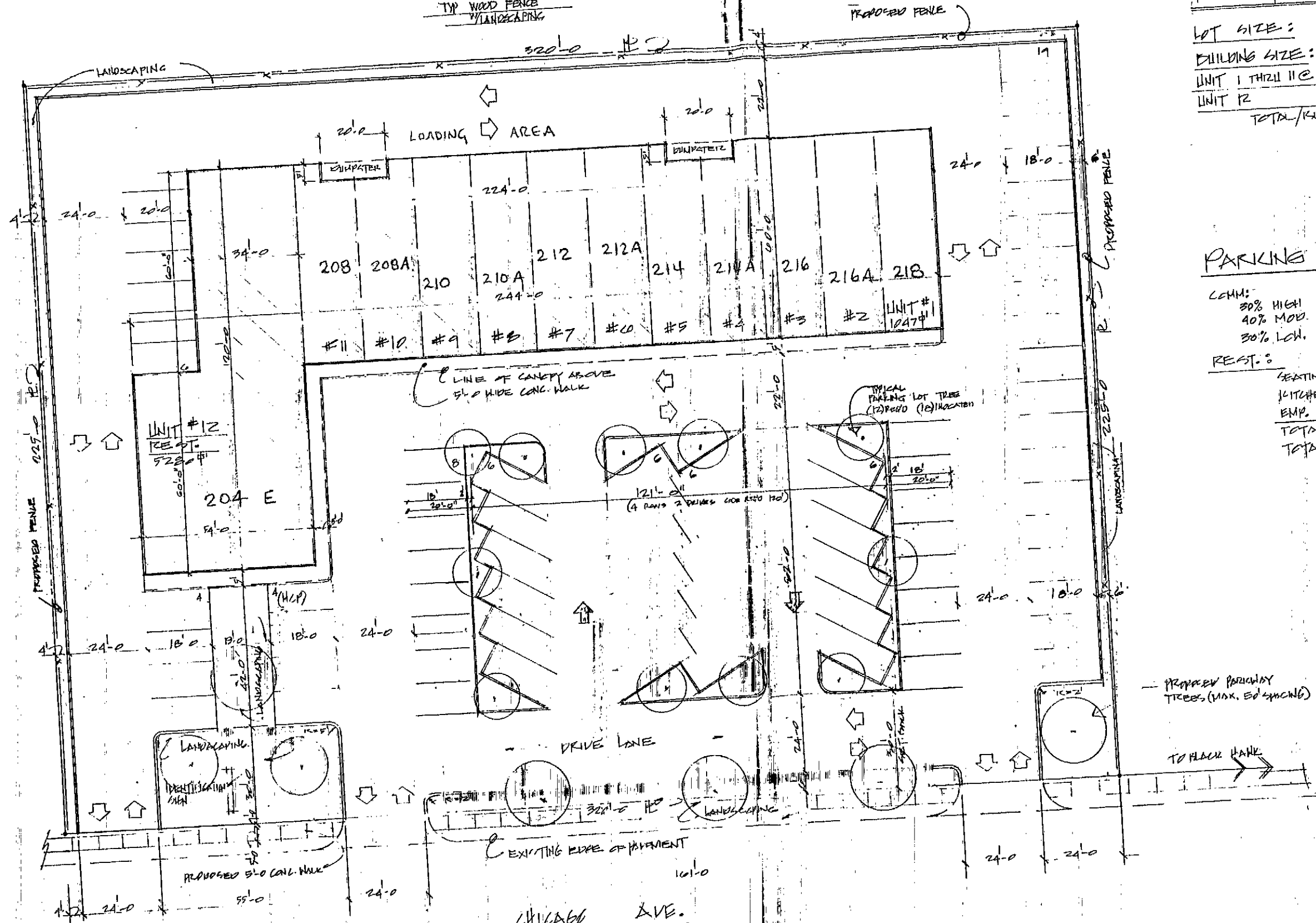
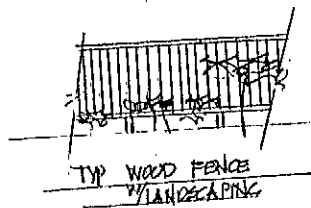
**PARKING:**

COMM:	11,520 sq ft		
33% HIGH	3840 sq ft	= 20 CARS REQ'D.	
33% MED.	3840 sq ft	= 10	
33% LOW	3840 sq ft	= 7	
REST.:	5,280 sq ft	37	ACTUAL 41
SEATING ±		33	
KITCHEN/STORAGE		0	
EMP. MAX (9)		0	
TOTAL REQ'D.		37	ACTUAL 40
TOTAL REQ'D.		70	ACTUAL 80

Make file  
302 East  
Chicago Ave

**PLOT PLAN**

PROPOSED SHOPPING CENTER	10-24-89 (512)
WESTMONT ILLINOIS.	108
L. A. DAHNER ARCHITECTS	36 of 120
700 INDUSTRIAL DRIVE BENSENVIEW ILL.	



**TABULATION OF AREAS:**

LOT SIZE:	72,000 sq ft (1.09 AC)
BUILDING SIZE:	
UNIT 1 THRU 11 @ 1047 sq ft	11,400 sq ft COMM.
UNIT 12	5,280 sq ft
TOTAL BLDG.	16,680 sq ft

**PARKING:**

COMM:	11,400 sq ft		
30% HIGH	3,400 sq ft	= 17	CARS REQ'D (1,000)
40% MOD.	4,600 sq ft	= 12	" (1,000)
30% LOW	3,400 sq ft	= 6	" (1,000)
REST.:	5,280 sq ft	35	
SEATING ±		32	
KITCHEN/STORAGE		0	
EMP. MAX (9)		0	
TOTAL REQ'D.		38	
TOTAL REQ'D.		75	ACTUAL 75

**PLOT PLAN**

1/16" = 1'-0"

PROPOSED SHOPPING CENTER WESTMONT ILLINOIS. L. A. DAHREK ARCHITECT 700 INDUSTRIAL DRIVE PENSACOLA, FL.	10-24-89	(512) 766-2280
		JOB NO. 8526
		SHT. NO.
		SK-3

***LEGAL DESCRIPTION***

**Abbreviated Legal Description (as provided):**

*A T MC INTOSH & COS RESUB OF WARREN KEENEY & COS 2ND ADD ALL & E 1/2 VAC  
HIAWATHA DR LYG W & ADJ*

**Unabbreviated Legal Description:**

*All of the property located in A.T. McIntosh and Company's Resubdivision of Warren Keeney and Company's Second Addition, together with the east one-half of vacated Hiawatha Drive lying west of and adjacent to said property.*

Lessee

XXIV. Amendment: No amendment of this Lease shall be effective unless reduced to writing and subscribed by the parties with all the formality of the original.

XXV. Binding Effect: This Lease and any amendments thereto shall be binding upon the Lessor and the Lessees and/or their respective successors, heirs, assigns, executors and administrators.

IN WITNESS WHEREOF, the parties hereto set their hands and seal this 16 day of Apr., 2025.

Lessee's Signature

Printed Name

TGP Innovations LLC

TGP INNOVATIONS, LLC of LL

By: [Signature], manager  
Lessor's Signature

Printed Name

[Signature]

Louis Pranno Jr

ACKNOWLEDGMENT OF NOTARY PUBLIC

STATE OF ILLINOIS Illinois

COOK County, ss.

On this 6 day of May, 2025, before me appeared Louis Pranno, as LESSOR of this Commercial Lease Agreement who proved to me through government issued photo identification to be the above-named person, in my presence executed foregoing instrument and acknowledged that they executed the same as their free act and deed.



[Signature]  
Notary Public  
My commission expires: 3/6/29

ACKNOWLEDGMENT OF NOTARY PUBLIC

STATE OF ILLINOIS

COOK County, ss.

On this 29 day of April, 2025, before me appeared Sidhardha A., as LESSEE of this Commercial Lease Agreement who proved to me through government issued photo identification to be the above-named person, in my presence executed foregoing instrument and acknowledged that they executed the same as their free act and deed.



[Signature]  
Notary Public  
My commission expires: Sept 17, 2028

freeforms

Page 8 of 8



# Village of Westmont Planning and Zoning Application and Instructions

Community Development Department  
31 West Quincy Street  
Westmont, Illinois 60559  
630-981-6260

<i>Office Use Only</i>
Date Received: _____
By: _____

PROJECT NAME: 232 E DES MOINES POOL INSTALLATION

Subject Property Street Address: 232 E DES MOINES

PIN Number(s): 09-10-313-022

**PETITIONER / BILLING CONTACT (Agent and Project Manager for the Petition):**

Petitioner (and corporation if applicable): JUSTIN & NATALIE KANE

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Relationship of Petitioner to Property Owner: PROPERTY OWNERS VIA TRUST



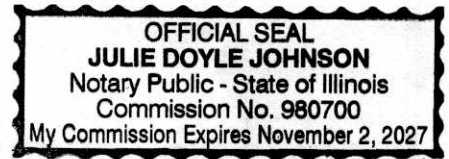
By signing below, the applicant and/or property owner acknowledge that the **Application fees are non-refundable** and that filling out this form is not a guarantee that the item will appear before the Planning and Zoning Commission. The applicant and/or property owner further acknowledge that all items recommended by Village planning staff for consideration by the Planning and Zoning Commission must have received technical approvals from the Consulting Engineer, the Consulting Landscape Architect, the Consulting Architect, the Village Forester and/or other Village staff, as deemed appropriate by the Community Development Department, before being recommended for consideration by the Planning and Zoning Commission. For this reason, while this is not a requirement, it is highly recommended that the applicant/property owner hire licensed professional engineers or architects when preparing their application materials.

**PETITIONER SIGNATURE:**

Type or print name: JUSTIN KRONE NATALIE KRONE  
 Signature: *JAK* *Nat. h*

SUBSCRIBED AND SWORN TO BEFORE ME  
 THIS 13<sup>th</sup> DAY OF MAY, 20 25

*Julie Doyle Johnson*  
 Notary Public

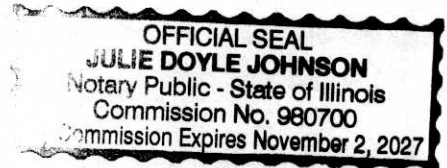


**OWNER SIGNATURE:**

Type or print name: JUSTIN KRONE AND NATALIE KRONE AS TRUSTEES OF  
THE LIVING TRUST OF JUSTIN KRONE AND NATALIE  
KRONE  
 Signature: *JAK* *Nat. h*

SUBSCRIBED AND SWORN TO BEFORE ME  
 THIS 13<sup>th</sup> DAY OF MAY, 20 25

*Julie Doyle Johnson*  
 Notary Public



# 232 East Des Moines St Pool Installation – Variance Request Cover Letter

Justin and Natalie Krone



May 15, 2025

Westmont Planning and Zoning Commission,

We are writing to request a variance at our property which is a single family home located in Westmont IL. We have resided in Westmont for over 16 years and have owned two homes in the municipality. We have been in this residence for nearly 7 years. Over the course of that time, we have maintained our property and continue to invest in the property as we plan to live here for the foreseeable future. We have two children that attend the Westmont Schools and we all take pride in being Westmont residents. We both volunteer to help Westmont Schools and the Park District (Natalie has been the Manning and Miller PTO President for two terms and Justin has been an Executive member of the Westmont Youth Baseball Association Board for four years.)

Our request for variance is specific to Village Code Article VI – Residence Districts Section 06.04 – Bulk and Development Standards in Residence Districts, which states that in the R-3 District, the maximum lot coverage is 35%. There is a footnote to that rule that states “When the application of the lot coverage regulations specified herein results in proposed lot coverage between 35—40 percent, a permit may be eligible for administrative approval (in lieu of a variance) provided that the property is not identified within any building moratorium area, known drainage problem area, or within any identifiable drainage sub basin area.” Since our permit was not eligible for administrative approval due to some low depression area nearby, we would like to request a variance to building code 06.04. We have already engaged a contractor and have detailed site plans which include the proposed lot coverage which is at 39%.

Included in this application are all necessary documents for your review including:

- Signed Planning and Zoning Application
- Signed Escrow Form
- Updated Plat of Survey (current property plat)
- Original Deed to verify ownership of the property
- Quitclaim Deed (House is in a Trust with Justin and Natalie as Trustees)
- Full Site Plan of proposed project
- Engineering Plans
- Findings of Facts on the Variance Standards

Thank you for your consideration,

Justin and Natalie Krone

## **232 East Des Moines St Pool Installation – Variance Request Findings of Facts**

**A) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located.**

- As a property owner, we are attempting to make improvements to our property that would allow for fuller enjoyment of our property; namely to enjoy a backyard swimming pool. There is no other return expected from this other to enjoy our property to its fullest potential.

**B) The plight of the owner is due to unique circumstances.**

- The lot sizes in our locality vary significantly. For instance, our neighbor to the north has a lot size that is more than double ours (though it is not considered a double lot). The village regulations permit a 35% lot coverage, and in some cases, up to 40%. Our project would bring us to approximately 39% coverage due to our current property footprint and the proposed project. While many homeowners in Westmont are permitted up to 40% coverage, we were not granted this allowance due to the specific location of our lot in relation to others.

**C) The variation, if granted, will not alter the essential character of the locality.**

- 232 East Des Moines is located in a neighborhood with a mixture of mid size (15,000 sq ft) to large (30,000 sq ft) lots. Our lot backs up to a very large lot that has less than 20% coverage. We also live roughly a block and a half away from a significant retention pond. We plan to add roughly 800 square feet of “coverage” by installing this pool. With the size of the lots in our neighborhood, particularly to the east of us (water is shown to run east off of our property per a topographical survey done by an independent engineer), this should have an insignificant impact to the overall locality. Furthermore, with this pool being in ground, it would be able to retain some water if there were significant rain as opposed to adding a driveway or paved patio which would not.

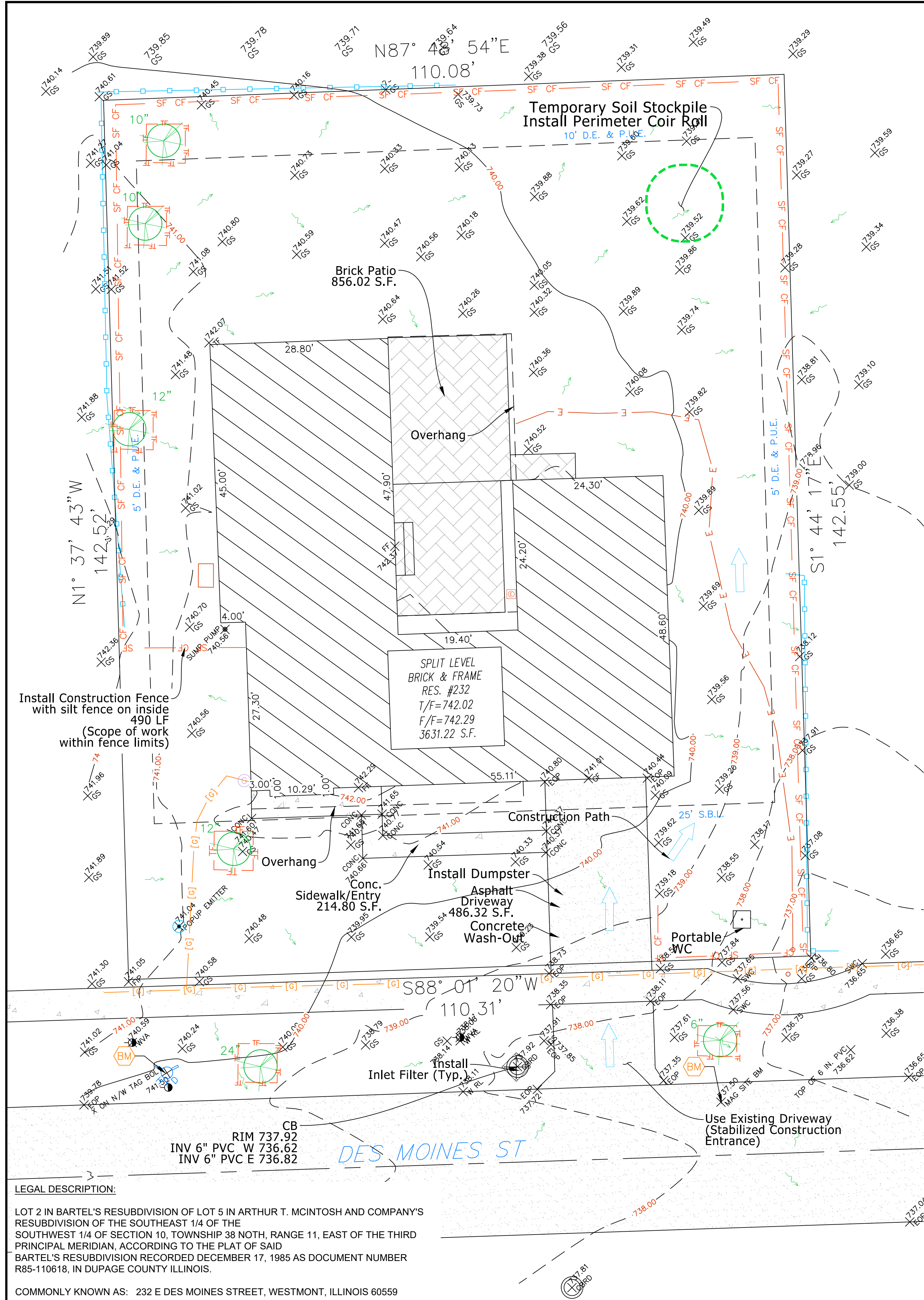












**Typical Construction Sequencing**

1. Install soil erosion and sediment control measures.
2. Install stabilized construction entrance.
3. Strip topsoil and stockpile.
4. Excavate for pool and stockpile.
5. Install pool.
6. Re-spread Topsoil.
7. Fine grade and permanently stabilize site.
8. Remove all temporary SE/SC measures after site is stabilized with vegetation.
9. Soil erosion and sediment control maintenance must occur every two weeks and after every 1/2" or greater rainfall event.

EVERY CONTRACTOR SHALL COMPLY WITH ALL LOCAL AND STATE SAFETY LAWS, REGULATIONS AND ORDINANCES; AND FEDERAL SAFETY REGULATIONS AS OUTLINED IN THE LATEST REVISIONS OF THE FEDERAL CONSTRUCTION SAFETY STANDARDS AND WITH ALL PROVISIONS AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS.

EVERY CONTRACTOR AND SUBCONTRACTOR, BY USING THESE PLANS FOR HIS WORK, AGREES TO INDEMNIFY AND HOLD HARMLESS THE DESIGN ENGINEER FROM AND AGAINST ANY AND ALL LIABILITY, CLAIMS, DAMAGES, AND THE COST OF DEFENSE ARISING OUT OF THE CONTRACTOR'S OR SUBCONTRACTOR'S PERFORMANCE OF THE WORK DESCRIBED HEREIN.

EVERY CONTRACTOR AND SUBCONTRACTOR SHALL PROVIDE ALL REQUIRED INSURANCE TO THE LIMITS REQUIRED BY THE OWNER AND THE LOCAL, COUNTY OR STATE GOVERNMENT AGENCY.

**TREE PROTECTION NOTES**

1. Install Tree Protection Fence and perform root pruning per plan for all protected trees prior to any construction activity.
2. Fence the public portion (parkways) of the entire Tree Protection Zone(s) with a 6' chain link fence to prevent wounds to the parkway tree(s) as well as soil compaction. Post the fence with a sign stating "Tree Protection Zone-Keep Out".
3. No trenching should be done within the Tree Protection Zones for any construction activity unless pre-approved by Building Department and Forestry staff.
4. No grade changes should be done within the Tree Protection Zones of parkway trees for any construction activity.
5. Should it be necessary to trench within the TPZ for utilities, including disconnection or capping of existing utilities, all trenches shall be hand dug. No roots larger than two (2") shall be cut unless no other alternative is feasible. All smaller roots that require cutting shall be cut with pruning saws. Cuts shall be made flush with the side of the trench. If at any time twenty-five (25%) of the area within the TPZ is being separated from the tree by a trench, then the line shall be either relocated or installed using trench-less methods.
6. At no time shall any equipment, materials, supplies or fill soil be allowed in the Tree Protection Zone(s). Do not store excavated soil or the dumpster within the drip-line (TPZ) of the parkway tree(s).

**GENERAL**

1. All work shall be performed in accordance with the Village of Westmont Public Works Construction Standards.
2. The contractor shall adhere to the Construction noise restrictions as found in the Village Code. Generally, residential areas are restricted to between construction noise is regulated between the hours of 8:00PM AND 7:00AM.
3. The contractor shall contact J.U.L.I.E. and the Village of Westmont a minimum of 48 hours prior to any excavation work.
4. The contractor shall provide protective fencing around all parkway trees. Protective fencing shall be snow fence installed under the drip line of each tree. There shall be no construction materials, debris, or equipment stored within the limits of the fencing. The protective fencing shall be maintained throughout the entire construction phase.
5. Any areas disturbed by construction outside the limits of the site shall be restored to the pre-construction condition. The contractor shall be responsible for taking photographs or videos of the pre-construction condition.

**EROSION CONTROL**

1. All sediment and erosion control devices shall be functional before land is otherwise disturbed on the site. Soil disturbance shall be conducted in such a manner as to minimize erosion. Soil stabilization measures shall consider the time of year, site conditions and the use of temporary or permanent measures.
2. The surface of stripped areas shall be permanently or temporarily protected from soil erosion within 15 days after final grade is reached. Stripped areas not at final grade that will remain undisturbed for more than 15 days after initial disturbance shall be protected from erosion. If a stockpile is to remain in place for more than 3 days, then sediment and erosion control devices shall be provided for said stockpile.
3. Storm sewer inlets shall be protected with sediment trapping or filter control devices during construction. Pumping sediment-laden water into any stormwater facility not designated to be a sediment trap, drainage way, or offsite area either directly or indirectly without filtration is prohibited.
4. Any soil, mud or debris washed, tracked, or deposited onto the street shall be removed immediately.
5. Vehicle access to the site shall be restricted to an existing brick drive. Said drive shall be cleaned periodically to prevent sediment from being tracked onto the street.
6. Temporary erosion and sediment control measures shall be functional and inspected by the Village prior to land disturbance activities.
7. All temporary soil erosion and sediment control measures shall be removed within thirty (30) days after final stabilization is achieved. Trapped sediment and other disturbed soils resulting from temporary measures shall be properly disposed of prior to permanent stabilization.
8. Stockpiles to remain in place more than three (3) days shall be provided with soil erosion and sediment control measures. Soil stockpiles shall not be left overnight in ditches.

**SOIL EROSION & SEDIMENTATION CONTROL NOTES**

Soil Disturbance Shall Be Conducted In Such a Manner as To Minimize Erosion. Soil Stabilization Measures Shall Consider the Time of Year, Site Conditions, and the Use of Temporary or Permanent Measures. Soil Erosion and Sediment Control Features Shall Be Constructed Prior to the Commencement of Upland Disturbance. Temporary Soil Stabilization Shall Be Applied to Topsoil Stockpiles and Disturbed Areas, Where Construction Activity Will Not Occur For A Period of More Than 14 Calendar Days. The Sediment Control Measures Shall Be Maintained On A Continuing Basis Until The Site Is Permanently Stabilized And All Inspections Are Complete. Permanent Stabilization Shall Be Done Within 14 Days after Completion of Final Grading of Soil. All Temporary And Permanent Erosion Control Measures Shall Be Removed Within 30 Days After Final Site Stabilization Is Achieved Or After The Temporary Measures Are No Longer Needed. Trapped Sediment And other Disturbed Soil Areas Shall Be Permanently Stabilized. Final Site Stabilization Is Defined By The EPA General Permit As Meaning That All Soil Disturbing Activities At The Site Have Been Completed, And That A Uniform Perennial Vegetative Cover With A Density Of 10 Percent Of The Cover For Unpaved Areas Not Covered By Permanent Structures Has Been Established Or Equivalent Permanent stabilization Measures (Such As The Use Of Riprap, Gabions, Or Geotextiles) Have Been Employed. All Storm Sewer Structures That Are, Or Will Be, Functioning During Construction Shall Be Protected, Filtered, Or Otherwise Treated To Remove Sediment. The General Contractor Shall Use "Catch-All" Inlet Protectors (or equal) and Filter Wattles Around The Grate In Landscaped Areas And "Catch-All" Inlet Protectors (or equal) In Paved Areas To Prevent Siltation. All Temporary And Permanent Sediment And Erosion Control Measures Must Be Maintained, Repaired, And Inspected In Conformance With All Applicable IEPA-NPDES Phase II. Install And Maintain Silt fence At The Perimeter Of The Construction Zone And Wetland Areas. Maintain Silt Fence Throughout Construction And Until Vegetation Has Been Fully Established. The Erosion Control Measures Indicated On The Drawings Are The Minimum Requirements. Additional Measures May Be Required As Directed By The Engineer Or Governing Agency. Report Releases of Reportable Quantities of Oil or Hazardous Materials If They Occur In Accordance with EPA NPDES Requirements. Use Concrete Washout Shall Conform To The "Temporary Concrete Washout Facility" Standards (Code 55A) of the Illinois Urban Manual, Latest Edition

**SURVEY INFORMATION:**

1. LOT DIMENSIONS TAKEN FROM ORIGINAL SURVEY. ALL LOT LINES, SETBACK LINES, UTILITY EASEMENTS, ARE TO BE LOCATED ON THE SITE BEFORE WORK STARTS.
2. CONTRACTOR IS SOLE RESPONSIBLE FOR COMPLIANCE WITH SETBACKS AND EASEMENTS.
3. CONTRACTOR AGREES TO COMPLY WITH THIS DIRECTIVE AND FURTHER AGREES TO HOLD ENGINEER HARMLESS FOR REMEDIAL ACTION DUE TO HIS FAILURE TO COMPLY.
4. THE ENGINEER SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR DEMOLITION OR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION.
5. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S SCHEDULES OR FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. THE ENGINEER SHALL NOT HAVE CONTROL OVER OR CHARGE OF ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK. FIELD WORK ON 03-27-2025

**LEGEND AND SYMBOLS:**

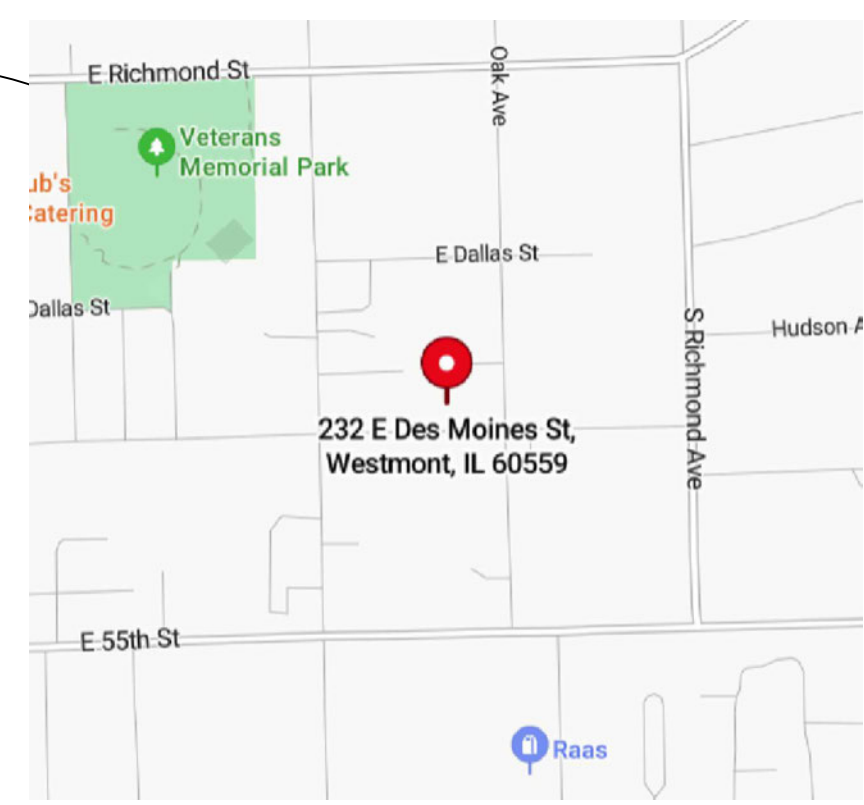
- N. = NORTH
- S. = SOUTH
- W. = WEST
- E. = EAST
- T/F = TOP OF FOUNDATION
- B/S = BOTTON OF SIDING
- F/F = FINISH FLOOR
- G/S = GARAGE SLAB
- TC = TOP OF CURD
- G = GUTTER
- TW = TOP OF WALL
- T/P = TOP OF PIPE
- CONC. = CONCRETE
- FIRE HYDRANT
- FIRE SPRINKLER
- WATER VALVE
- B-BOX
- WATER MANHOLE
- STORM MANHOLE
- CATCH BASIN
- STORM INLET
- CURB INLET
- CULVERT HEADWALL
- SANITARY MANHOLE
- CLEAN-OUT
- STORM SEWER MAIN
- STORM SEWER LATERAL
- SANITARY SEWER
- COMBINED SEWER
- WATER MAIN
- OVERHEAD WIRES
- UNDERGROUND ELEC.
- CABLE / PHONE
- GAS MAIN
- WOOD FENCE
- CHAIN LINK FENCE
- IRON FENCE
- SILT / CONSTRUCTION FENCE
- TREE PROTECTION FENCE
- WOOD POWER POLE
- DOWN SPOUT
- LIGHT FIXTURE
- OVERLAND FLOW
- MONUMENT
- ELECTRICAL HH
- GAS HH
- BENCHMARK
- EXISTING SPOT GRADE EL.
- PROPOSED SPOT GRADE EL.
- CUT SWALE
- MAILBOX
- TREE
- BUSH

INDEX	
SHEET NO.	TITLE
1	EXISTING CONDITIONS
2	PROPOSED CONDITIONS
3	DETAILS

**EMERGENCY CONTACT:**  
**DAVID WILLER**  
**ASURENET LLC.**  
 630-730-1458  
**ADMIN@ASURENET.COM**

**CALL JULIE**  
 CALL 48 HOURS BEFORE YOU DIG  
 (EXCLUDING SAT., SUN. & HOLIDAYS)  
**1-800-892-0123**

**Site Location**



**LEGAL DESCRIPTION:**  
 LOT 2 IN BARTEL'S RESUBDIVISION OF LOT 5 IN ARTHUR T. MCINTOSH AND COMPANY'S RESUBDIVISION OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 10, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID BARTEL'S RESUBDIVISION RECORDED DECEMBER 17, 1985 AS DOCUMENT NUMBER R85-110618, IN DUPAGE COUNTY ILLINOIS.  
 COMMONLY KNOWN AS: 232 E DES MOINES STREET, WESTMONT, ILLINOIS 60559

**ENGINEERING PLANS PREPARED BY:**  
 RBD Associates, Inc.  
 Design Firm License Number: 184.008755  
 GLENVIEW, IL.  
 Romiz@bdenengineering.com  
 224.425.0009  
 Signed: 04/18/2025  
 Expires: 11/30/2025

**PLANS PREPARED FOR:**  
 Brian Gould  
 br@brdesignarchitecture.com  
 708-508-7281

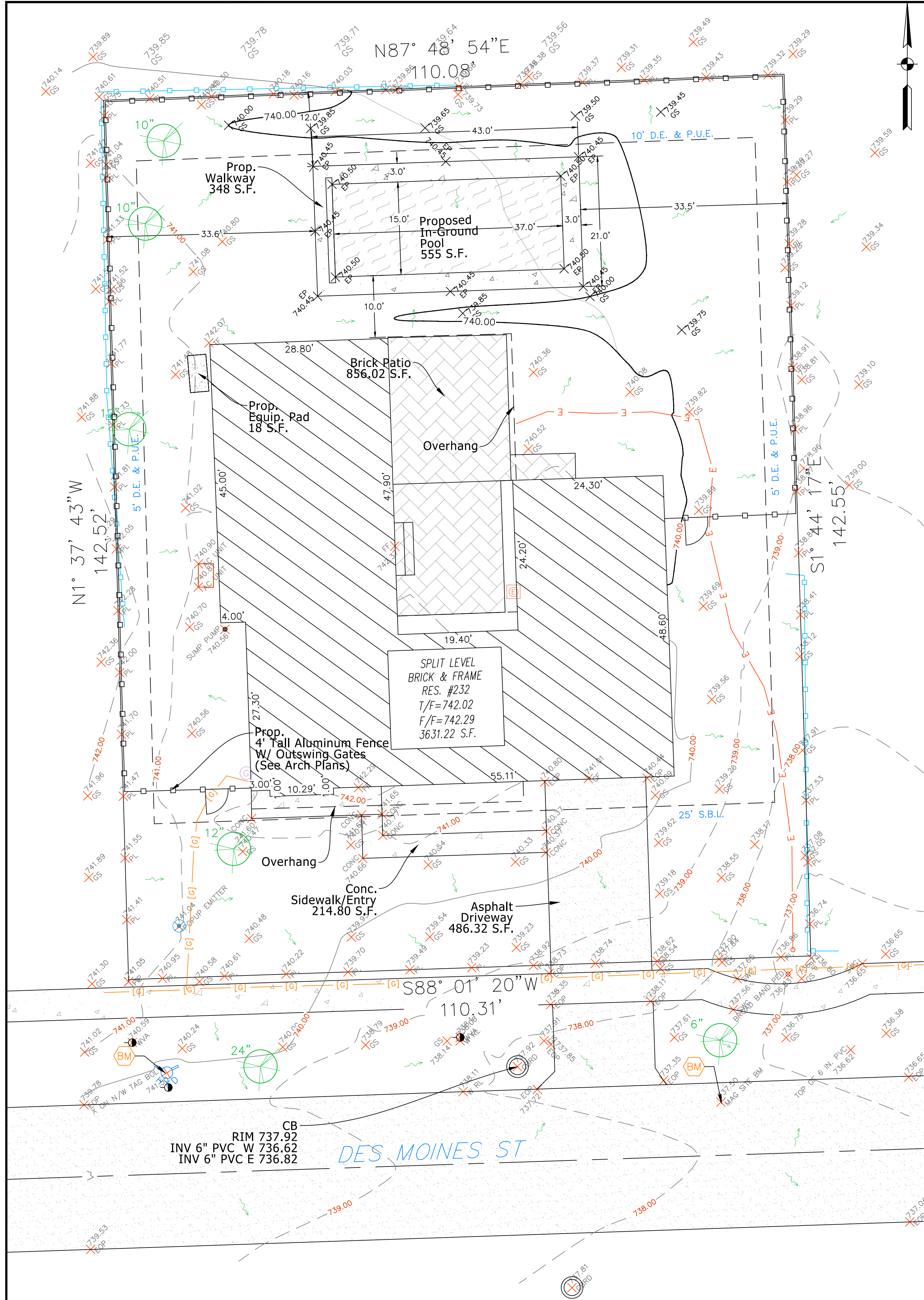
**TRM 1:**  
 SOUTHWEST CORNER OF PROPERTY, DIRECTLY SOUTH X ON N/W BOLT OF FIRE HYDRANT, ELEV=737.50 FEET (NAVD 88)  
**TRM 2:**  
 MAGNETIC NAIL IN PAVEMENT DIRECTLY SOUTHEAST OF DRIVEWAY IN PAVEMENT, AS SHOWN ELEV=741.50 (NAVD-88)

SUBMITTALS	
DATE	REMARKS
04/18/2025	ISSUED FOR DESIGN COORDINATION

**NEW IN-GROUND POOL ADDITION**  
 232 E DES MOINES ST,  
 WESTMONT, IL 60559

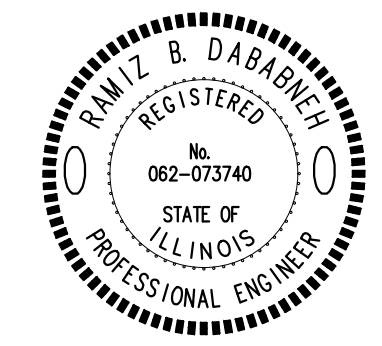
DESIGNED BY: RBD  
 PROJECT NO.: 25-232  
 DATE: 04/18/2025  
 SCALE: 1:10 (FULL), 1:20 (HALF)  
 SHEET 1 OF 3

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**DRAINAGE STATEMENT**

To the best of my knowledge, the proposed work qualifies as best practice by conveying roof and surface stormwater into drywells and public storm sewers for the purpose of minimizing stormwater discharge and providing recharge for the ground water. Reasonable provision has been made for overflow of such surface waters into public areas and that such surface waters are planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of damage to adjoining properties because of the implementation of this work.



*Ramiz B. Dababneh*  
Signed: 04/18/2025  
Expires: 11/30/2025

RAMIZ B. DABABNEH  
REGISTERED PROFESSIONAL ENGINEER  
STATE OF ILLINOIS NO. 062-073740

**LEGAL DESCRIPTION:**

LOT 2 IN BARTEL'S RESUBDIVISION OF LOT 5 IN ARTHUR T. MCINTOSH AND COMPANY'S RESUBDIVISION OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 10, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID BARTEL'S RESUBDIVISION RECORDED DECEMBER 17, 1985 AS DOCUMENT NUMBER R85-110618, IN DUPAGE COUNTY ILLINOIS.

COMMONLY KNOWN AS: 232 E DES MOINES STREET, WESTMONT, ILLINOIS 60559

**Notes:**

1. MAINTAIN POSITIVE GRADES AWAY FROM THE ADDITION.
2. GRADING AND PAVING SHALL PROVIDE POSITIVE DRAINAGE AND SHALL NOT ADVERSELY AFFECT NEIGHBORING PROPERTIES
3. SIDEYARDS ARE NOT TO BE PITCHED TO NEIGHBORING PROPERTIES.
4. SOD OR SEED/BLANKET WITH TOPSOIL TO BE INSTALLED IN DISTURBED AREAS.
5. ANY DEVIATION FROM THIS APPROVED PLAN SHALL REQUIRE PRIOR WRITTEN APPROVAL FROM THE VILLAGE OF WESTMONT.
6. THE CONTRACTOR SHALL CONTACT THE VILLAGE OF WESTMONT DEPARTMENT OF DEVELOPMENT SERVICES AT 630-981-6250 A MINIMUM OF 24-HOURS IN ADVANCE TO SCHEDULE THE FOLLOWING REQUIRED ENGINEERING INSPECTIONS:
  - SOIL EROSION AND SEDIMENT CONTROL (SESC) INSPECTION
  - FINAL GRADING INSPECTION
  - FINAL ENGINEERING INSPECTION
7. POOL MUST BE INSTALLED IN A SAFE MANNER THAT COMPLIES WITH THE VILLAGE OF WESTMONT ZONING ORDINANCE AND DOES NOT CREATE A NUISANCE.
8. CONSTRUCTION NOISE IS REGULATED BETWEEN THE HOURS OF 8:00PM AND 7:00AM.

ANY DEVIATION FROM THIS APPROVED PLAN SHALL REQUIRE PRIOR WRITTEN APPROVAL FROM THE VILLAGE OF WESTMONT.

**Existing Impervious Surface Calculations:**

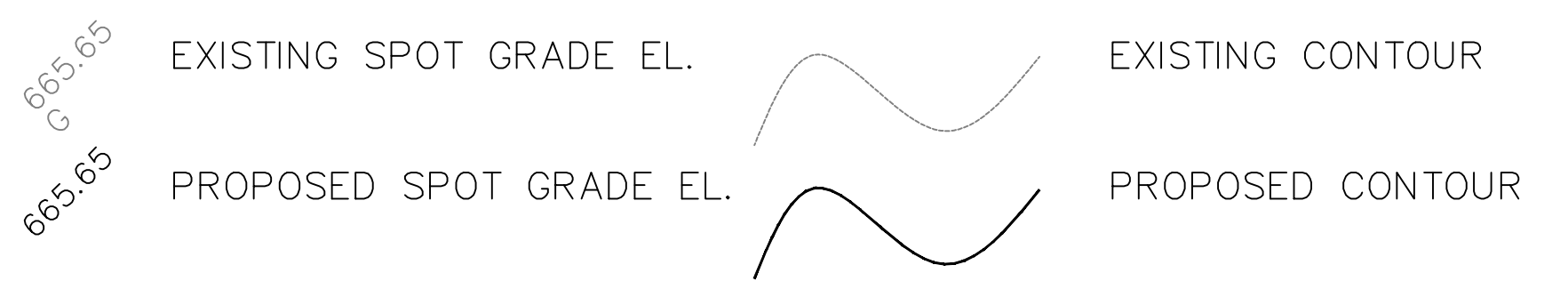
LOT AREA (SF)	Exist. Imp. Surf. (SF)
15,713	3631.22
Residence	3631.22
Brick Patio	856.02
Asphalt Driveway	486.32
Conc. Sidewalk/Entry	214.80
Exist. Impervious Surface Area (S.F.)	5188.36
% Exist. Impervious Surface Area	33.02%

**Proposed Impervious Surface Calculations:**

LOT AREA (SF)	Exist. Imp. Surf. (SF)
15,713	3631.22
Residence	3631.22
Brick Patio	856.02
Asphalt Driveway	486.32
Conc. Sidewalk/Entry	214.80
Prop. In-Ground Pool	555.00
Prop. Pool Walkway+ Pool Equip. Pad	348.00
Prop. Impervious Surface Area (S.F.)	6091.36
% Prop. Impervious Surface Area	38.77%
Net Impervious Surface Area (S.F.)	903.00
% Net Impervious Surface Area	5.75%

**EMERGENCY CONTACT:**  
DAVID WILLER  
ASURENET LLC.  
630-730-1458  
ADMIN@ASURENET.COM

**CALL JULIE**  
CALL 48 HOURS BEFORE YOU DIG  
(EXCLUDING SAT., SUN. & HOLIDAYS)  
**1-800-892-0123**



**LEGEND AND SYMBOLS:**

N. = NORTH  
S. = SOUTH  
W. = WEST  
E. = EAST  
T/F = TOP OF FOUNDATION  
B/S = BOTTON OF SIDING  
F/F = FINISH FLOOR  
G/S = GARAGE SLAB  
TC = TOP OF CURD  
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CONC. = CONCRETE

FIRE HYDRANT  
FIRE SPRINKLER  
WATER VALVE  
B-BOX  
WATER MANHOLE  
STORM MANHOLE  
CATCH BASIN  
STORM INLET  
CURB INLET  
CULVERT HEADWALL  
SANITARY MANHOLE  
CLEAN-OUT

STORM SEWER MAIN  
STORM SEWER LATERAL  
SANITARY SEWER  
COMBINED SEWER  
WATER MAIN  
OVERHEAD WIRES  
UNDERGROUND ELEC.  
CABLE / PHONE  
GAS MAIN  
WOOD FENCE  
CHAIN LINK FENCE  
IRON FENCE  
SILT / CONSTRUCTION FENCE  
TREE PROTECTION FENCE  
WOOD POWER POLE  
DOWN SPOUT  
LIGHT FIXTURE  
OVERLAND FLOW  
MONUMENT  
ELECTRICAL HH  
GAS HH  
BENCHMARK  
EXISTING SPOT GRADE EL.  
PROPOSED SPOT GRADE EL.  
CUT SWALE  
MAILBOX  
TREE BUSH

FULL SIZE PLANS HAVE BEEN PREPARED USING STANDARD ENGINEERING SCALES. REDUCED SIZED PLANS WILL NOT CONFORM TO STANDARD SCALES. USE THE SCALE BELOW TO MAKE MEASUREMENTS ON REDUCED PLANS.

ENGINEERING PLANS PREPARED BY:

RBD Associates, Inc.  
Design Firm License Number: 184.008755  
GLENVIEW, IL.  
Romiz@bdengineering.com  
224.425.0009

Signed: 04/18/2025  
Expires: 11/30/2025

PLANS PREPARED FOR:

Brian Gould  
br@brdesignarchitecture.com  
708-508-7281

TRM 1:  
SOUTHWEST CORNER OF PROPERTY, DIRECTLY SOUTH X ON N/W BOLT OF FIRE HYDRANT, ELEV=737.50 FEET (NAVD 88)

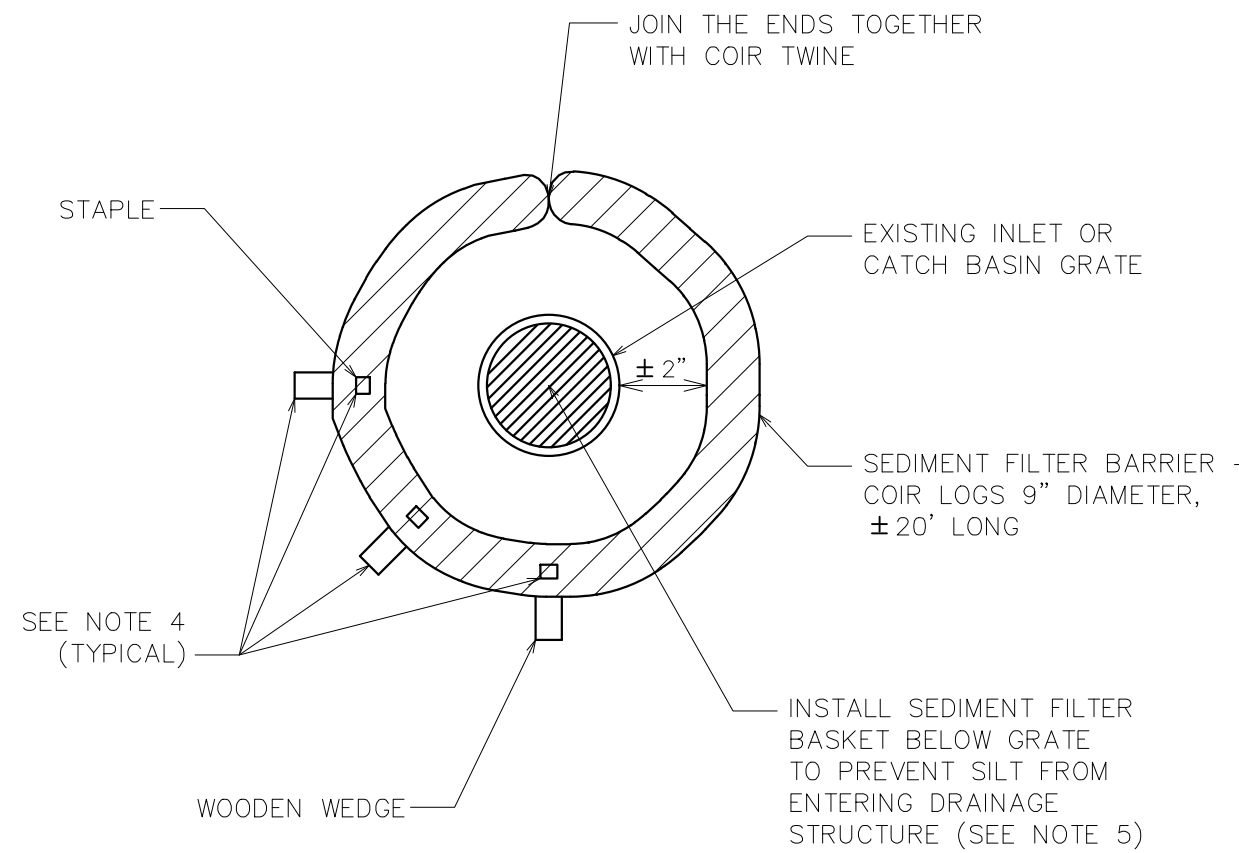
TRM 2:  
MAGNETIC NAIL IN PAVEMENT DIRECTLY SOUTHEAST OF DRIVEWAY IN PAVEMENT, AS SHOWN ELEV=741.50 (NAVD-88)

SUBMITTALS	
DATE	REMARKS
04/18/2025	ISSUED FOR DESIGN COORDINATION

NEW IN-GROUND POOL ADDITION  
232 E DES MOINES ST,  
WESTMONT, IL 60559

DESIGNED BY: RBD  
PROJECT NO.: 25-232  
DATE: 04/18/2025  
SCALE: 1:10 (FULL), 1:20 (HALF)  
SHEET 2 OF 3

COPYRIGHT: THIS DRAWING SHALL NOT BE USED, REPRODUCED, MODIFIED OR SOLD EITHER WHOLLY OR IN PART, EXCEPT WHEN AUTHORIZED IN WRITING BY THE ENGINEER.



**NOTES:**

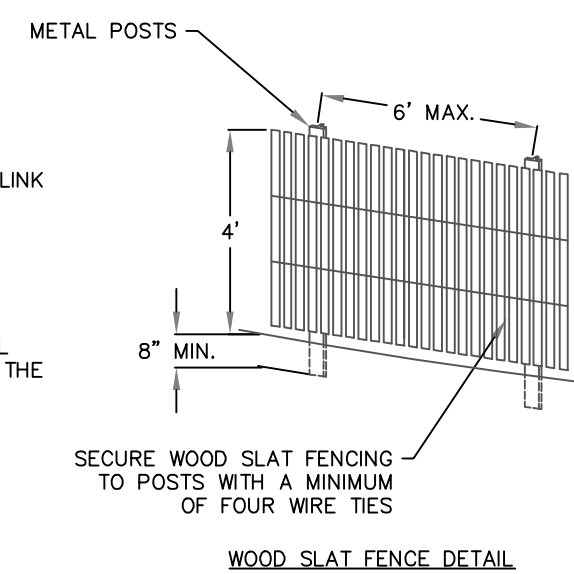
1. SEDIMENT FILTER BARRIERS (COIR LOGS OR APPROVED EQUAL) AND FILTER BASKETS SHALL BE INSTALLED AND MAINTAINED FOR ALL STORM SEWER INLETS, CATCH BASINS AND MANHOLES WITH OPEN GRATES, AS DIRECTED BY VILLAGE ENGINEERING.
2. SEDIMENT FILTER BARRIERS SHALL BE PLACED WITH ENDS TIGHTLY ABUTTING THE ADJACENT SEDIMENT BARRIERS TO CREATE A CONTINUOUS BARRIER.
3. EACH SEDIMENT BARRIER SHALL BE STAPLED (3.0' O.C.), STAPLES TO PENETRATE 6" TO 12" BELOW GRADE.
4. WOODEN WEDGES AND/OR STAPLES AS PER MANUFACTURER'S PRODUCT INSTALLATION SPECIFICATIONS.
5. REINFORCED FILTER BASKETS SHALL BE USED FOR SEDIMENT CONTROL. SEE STANDARD DETAILS ER-8, ER-9.
6. INSPECTION OF SEDIMENT BARRIERS AND FILTER BASKETS SHALL BE AT LEAST ONCE PER WEEK AND AFTER RAIN EVENTS IN EXCESS OF HALF INCH (1/2") PER DAY OR EQUAL SNOW MELT. REPAIR OR REPLACEMENT OF SEDIMENT FILTER SHALL BE MADE PROMPTLY AS NEEDED.
7. REMOVE ACCUMULATED SEDIMENT WHEN SEDIMENT DEPTH AT THE FILTER BARRIER IS APPROXIMATELY EQUAL TO ONE-HALF OF BARRIER'S HEIGHT.
8. SEDIMENT BARRIERS AND FILTER BASKETS SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION AND ONLY WHEN DIRECTED BY VILLAGE ENGINEERING.

NOT TO SCALE

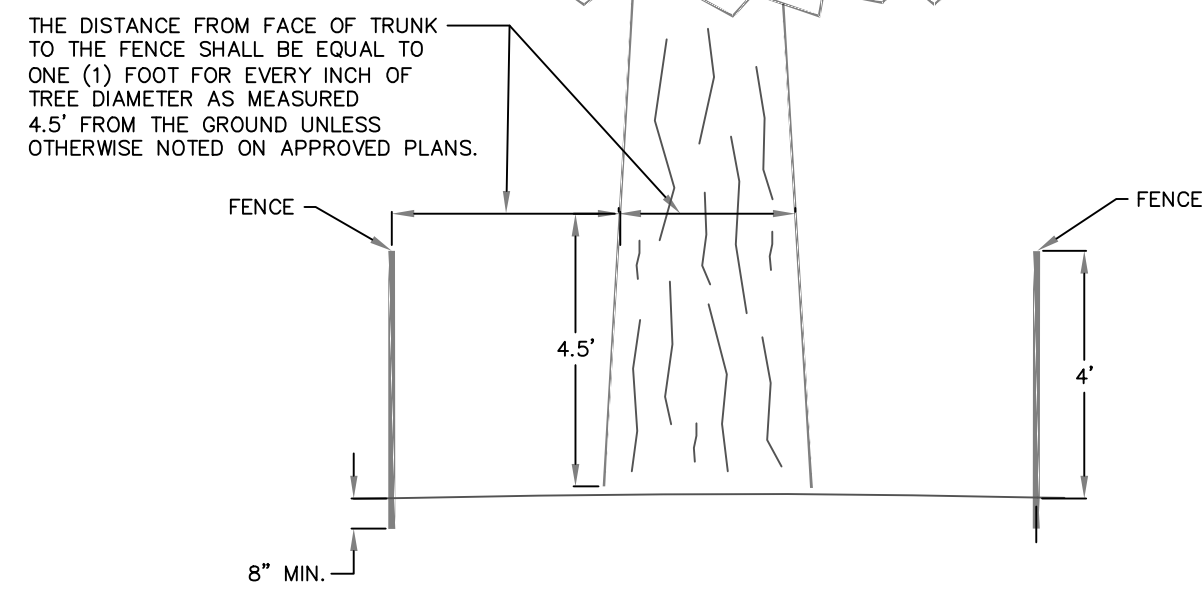
**ABOVE GRADE INLET FILTERS**

REVISED: 3-15-22

- NOTES:**
1. INSTALL & MAINTAIN 4" TALL WOODEN SLAT OR CHAIN LINK METAL FENCE SECURED TO METAL POSTS SPACED A MAXIMUM DISTANCE OF 6' APART.
  2. CHAIN LINK FENCE TO HAVE POSTS SECURED AT EACH SECTION TO MAINTAIN AN UPRIGHT AND STATIONARY POSITION THROUGHOUT CONSTRUCTION.
  3. FAILURE TO INSTALL AND MAINTAIN PROTECTIVE TREE FENCING IN ACCORDANCE WITH VILLAGE STANDARDS WILL RESULT IN THE ISSUANCE OF A STOP WORK ORDER ON THE PROJECT.



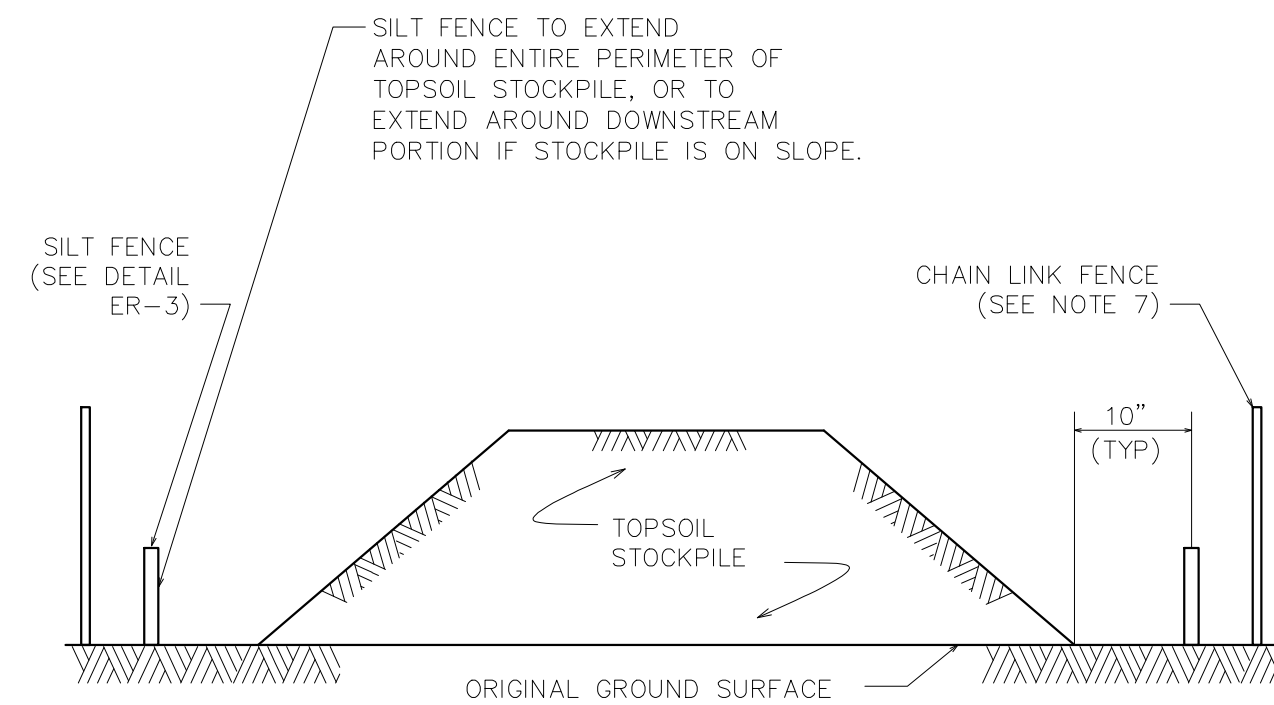
**WOOD SLAT FENCE DETAIL**



**WOODEN SLAT OR CHAIN LINK TREE PROTECTION DETAIL**

DATE	REVISIONS

NOT TO SCALE



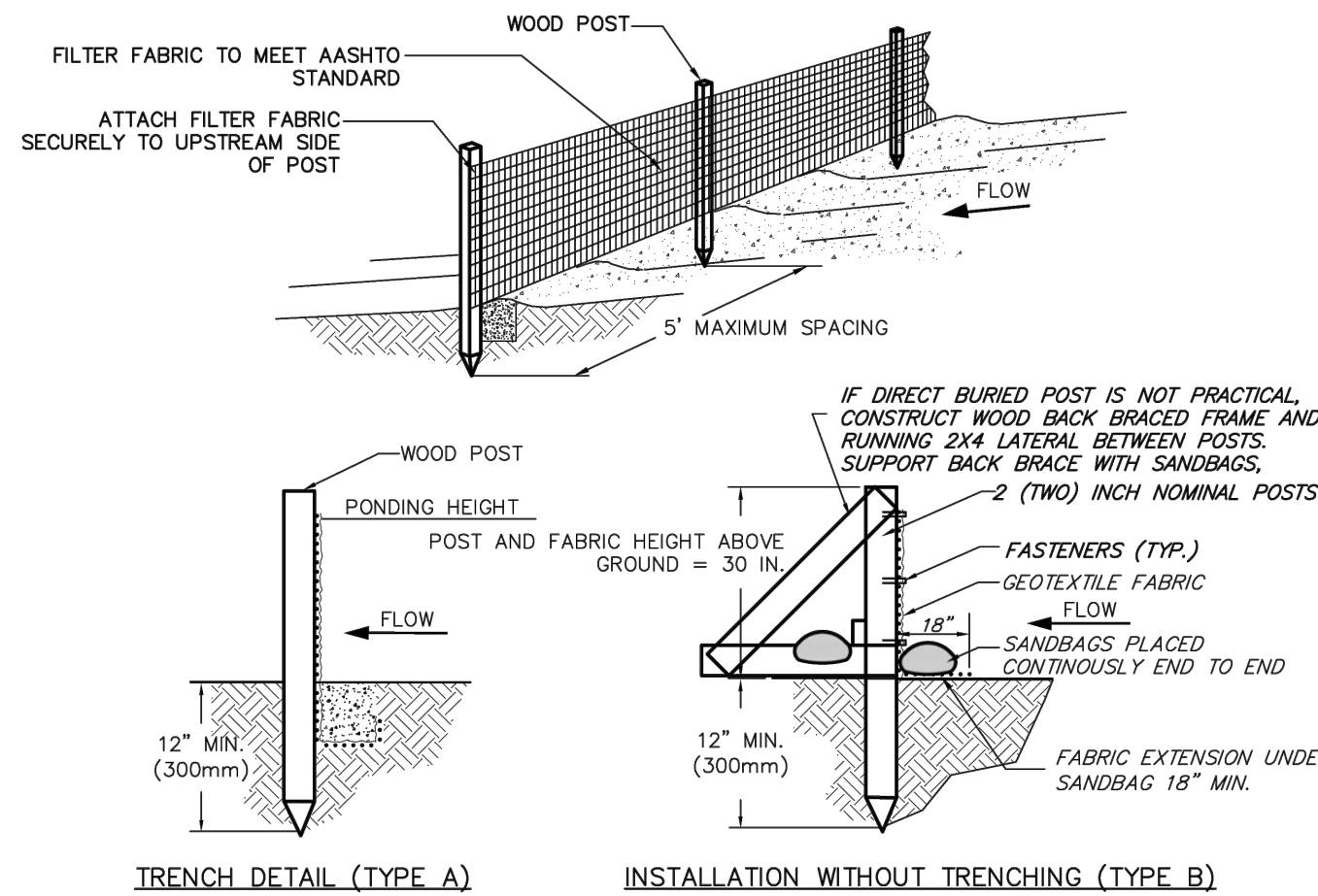
**NOTES:**

1. AN ON-SITE DRAINAGE SWALE SHALL BE LOCATED BETWEEN THE TOPSOIL STOCKPILE AND OFF-SITE PROPERTY.
2. REFERENCE IS MADE TO THE SILT FENCE DETAIL (ER-3) FOR MATERIALS AND INSTALLATION METHODS.
3. IF THE STOCKPILE IS TO REMAIN FOR MORE THAN 14 DAYS, IT SHALL BE STABILIZED WITH STRAW BLANKET OR SEEDED TO MINIMIZE EROSION.
4. INSPECTION OF SILT FENCES SHALL BE AT LEAST ONCE PER WEEK AND AFTER RAIN EVENTS IN EXCESS OF HALF INCH (1/2") PER DAY OR EQUAL SNOW MELT. REPAIR OR REPLACEMENT OF SILT FENCE SHALL BE MADE PROMPTLY AS NEEDED.
5. SEDIMENT TRAPPED BY THE SILT FENCES SHALL BE REMOVED AND PROPERLY DISPOSED OF WHENEVER SEDIMENT ACCUMULATION DEPTH AT THE SILT FENCE IS APPROXIMATELY EQUAL TO TWELVE (12) INCHES (ONE-HALF OF SILT FENCE HEIGHT).
6. SILT FENCES SHALL BE MAINTAINED IN PLACE UNTIL TOPSOIL STOCKPILE HAS BEEN ELIMINATED AND SHALL BE REMOVED ONLY WHEN DIRECTED BY VILLAGE ENGINEERING.
7. TO COMPLY WITH THE VILLAGE'S SAFETY REQUIREMENTS ERECTION OF STABLE AND SECURE SIX (6) FEET HIGH CHAIN LINK FENCE AROUND THE PERIMETER OF THE STOCKPILED MATERIAL IS REQUIRED. COORDINATE WITH THE ENGINEER.
8. STOCKPIILING OF MATERIALS SHALL BE OUTSIDE OF THE CRITICAL ROOT ZONE OF ALL TREES.

NOT TO SCALE

**TEMPORARY TOPSOIL STOCKPILE DETAIL**

REVISED: 3-15-22



1. SET POSTS AND EXCAVATE OR SLIT-TRENCH A 6-INCH DEEP TRENCH UPSLOPE ALONG THE LINE OF THE POST
2. ATTACH GEOTEXTILE FILTER FABRIC TO EACH POST WITH A MINIMUM OF 3 (THREE) FASTENERS PER POST AND EXTEND TO THE BOTTOM OF THE TRENCH. ACCEPTABLE FASTENERS INCLUDE STAPLES, ZIP-TIES, OR WIRE TIES.
3. BACKFILL AND COMPACT THE EXCAVATED SPOIL MATERIALS

Geotextile Requirement	Test Method	MARV
Grab Strength	ASTM D 4632	550 N
-Machine direction		450 N
-X-machine direction		
Permittivity	ASTM D 4491	0.05 sec <sup>-1</sup>
Apparent opening size*	ASTM D 4751	0.60 mm
Ultraviolet stability (retained strength)	ASTM D 4355	70% after 500 hours

*Note:*  
Value for apparent opening size represents maximum coverage roll value.

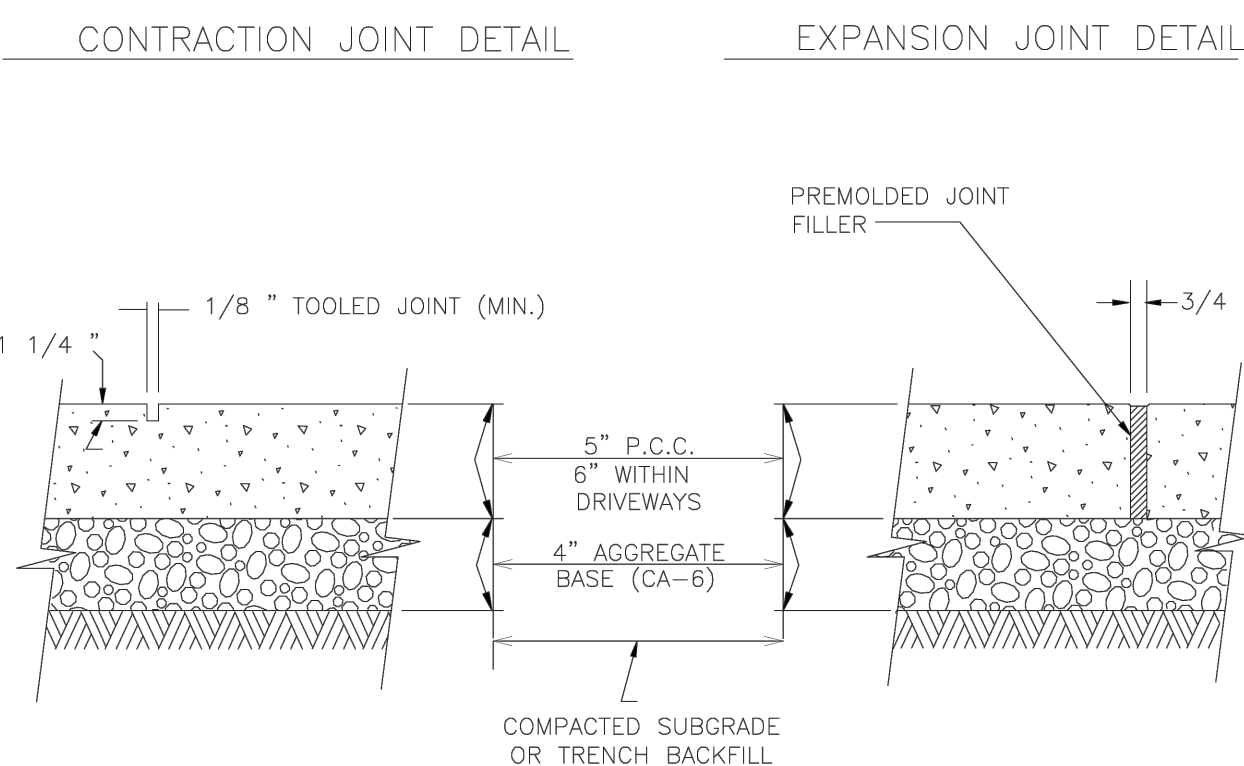
**NOTES:**

1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9" (225mm) MAXIMUM RECOMMENDED STORAGE HEIGHT.
3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
4. FABRIC AND INSTALLATION SHALL MEET THE REQUIREMENTS OF AASHTO STANDARD SPECIFICATION M-288-00.

REVISED FEBRUARY 2022

**SILT FENCE INSTALLATION DETAIL**

NOT TO SCALE



**NOTES:**

1. UNLESS OTHERWISE NOTED ON PLANS, CONTRACTION JOINTS TO BE AT 5'-0" O.C.
2. EXPANSION JOINTS TO BE 50'-0" O.C. MAX. OR AT BACK OF CURB, CHANGE OF DIRECTION, OTHER WALK, UTILITY APPURTENANCE, OR FACE OF STRUCTURE.
3. PORTLAND CEMENT CONCRETE SHALL CONFORM TO 100T CLASS S1, MIN. 3,500 PSI (6.1 BAG MIX) AT 14 DAYS, WITH 5% TO 8% AIR ENTRAINMENT. (NO FLY ASH ALLOWED)

NOT TO SCALE

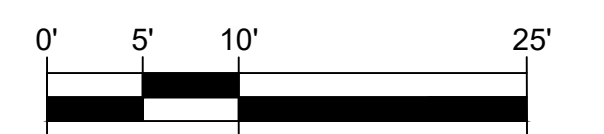
**CONCRETE WALK JOINT DETAILS**

REVISED 11-04-04

**LEGEND AND SYMBOLS:**

- N. = NORTH
- S. = SOUTH
- W. = WEST
- E. = EAST
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- SILT / CONSTRUCTION FENCE
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FULL SIZE PLANS HAVE BEEN PREPARED USING STANDARD ENGINEERING SCALES. REDUCED SIZED PLANS WILL NOT CONFORM TO STANDARD SCALES. USE THE SCALE BELOW TO MAKE MEASUREMENTS ON REDUCED PLANS.



**C-3 DETAILS**

**ENGINEERING PLANS PREPARED BY:**

RBD Associates, Inc.  
Design Firm License Number: 184.008755  
GLENVIEW, IL.  
Romiz@rbdengineering.com  
224.425.0009

Signed: 04/18/2025  
Expires: 11/30/2025



**PLANS PREPARED FOR:**

Brian Gould  
br@rbdesignarchitecture.com  
708-508-7281

**TRM 1:**  
SOUTHWEST CORNER OF PROPERTY, DIRECTLY SOUTH X ON N/W BOLT OF FIRE HYDRANT, ELEV=737.50 FEET (NAVD 88)  
**TRM 2:**  
MAGNETIC NAIL IN PAVEMENT DIRECTLY SOUTHEAST OF DRIVEWAY IN PAVEMENT, AS SHOWN ELEV=741.50 (NAVD-88)

SUBMITTALS	
DATE	REMARKS
04/18/2025	ISSUED FOR DESIGN COORDINATION

**NEW IN-GROUND POOL ADDITION**  
232 E DES MOINES ST,  
WESTMONT, IL 60559

DESIGNED BY: RBD  
PROJECT NO.: 25-232  
DATE: 04/18/2025  
SCALE: 1:10 (FULL), 1:20 (HALF)  
SHEET 3 OF 3



**FRED BUCHOLZ**

**DUPAGE COUNTY RECORDER**

SEP. 24, 2018 RHSP 1:00 PM

DEED \$40.00 09-10-313-022

STAMP AFFIXED

003 PAGES R2018-089872

**WARRANTY DEED  
ILLINOIS STATUTORY  
Individual**

THE GRANTORS, ERVIN P. ROZSY PAL and MICHELLE P. ROZSY PAL, of Westmont, in the County of DuPage, State of Illinois for and in consideration of Ten and 00/100 Dollars, and other good and valuable consideration in hand paid, CONVEY and WARRANT to JUSTIN ROBERT KRONE and NATALIE MARIE KRONE, of the Village of Westmont, in the County of DuPage, State of Illinois, as Tenants by the Entirety, all interest in the following described Real Estate situated in the County of DuPage in the State of Illinois, to wit: *\* Husband and Wife*

Lot 2 in Bartel's Resubdivision of Lot 5 in Arthur T. McIntosh and Company's Resubdivision of the south east 1/4 of the south west 1/4 of Section 10, Township 38 North, Range 11, East of the Third Principal Meridian, according to the plat of said Bartel's Resubdivision recorded December 17, 1985 as Document No. R85-110618, in DuPage County, Illinois

SUBJECT TO: Covenants, conditions and restrictions of record; private, public and utility easements and roads and highways; and general taxes for the year 2018 and subsequent years.

Hereby releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of the State of Illinois.

Permanent Real Estate Index Number: 09-10-313-022  
Address of Real Estate: 232 E Des Moines, Westmont, Illinois 60559

*8765-*

**REAL ESTATE TRANSFER TAX** 24-Sep-2018

COUNTY:	255.00
ILLINOIS:	510.00
<b>TOTAL:</b>	<b>765.00</b>

09-10-313-022 | 20180902284328 | 0-474-228-896

*1 of 1 A01806454*

Warranty Deed - Individual

Dated this 17<sup>th</sup> day of September, 20 18.

Michelle P. Rozsypal  
MICHELLE P. ROZSYPAL

STATE OF ILLINOIS COUNTY OF DuPage ss.

I, the undersigned, a Notary Public in and for said County, in the Country aforesaid, CERTIFY THAT MICHELLE P. ROZSYPAL, personally known to me to be the same person(s) whose name(s) are subscribed to the foregoing instrument, appeared before me this day in person, and acknowledged that they signed, sealed and delivered the said instrument as their free and voluntary act, for the uses and purposes therein set forth, including the release and waiver of the right of homestead.

Given under my hand and official seal, this 17 day of Sept, 20 18.



[Signature] (Notary Public)

**Prepared by:**  
Daniel P. Niemeyer  
Gallagher, Niemeyer & Abrams, LLC  
5773 N. Lincoln Avenue, Suite 111  
Chicago, Illinois 60659

**Mail to:**  
NEAR NORTH NATIONAL TITLE  
222 NORTH LA SALLE STREET  
SUITE 100 LOBBY LEVEL  
CHICAGO, ILLINOIS 60601

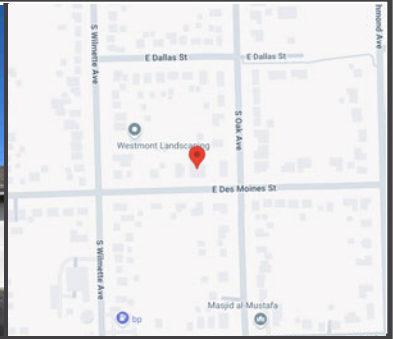


**Name and Address of Taxpayer:** and the Grantee is  
JUSTIN ROBERT KRONE AND NATALIE MARIE KRONE  
232 E Des Moines Street  
Westmont, Illinois 60559

Warranty Deed - Individual



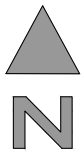
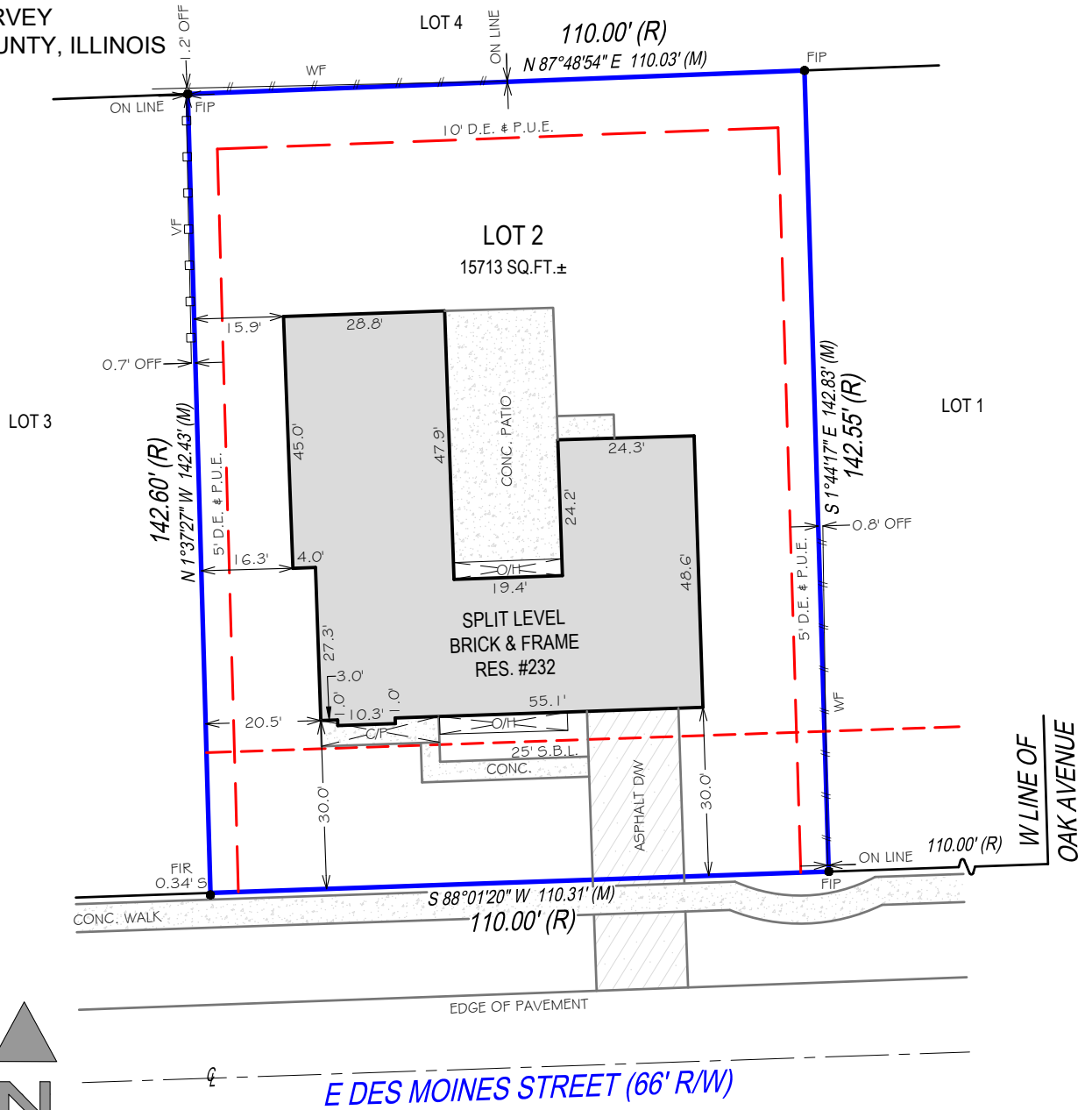
www.exactaland.com | office: 773.305.4011



PROPERTY ADDRESS: 232 E DES MOINES STREET, WESTMONT, ILLINOIS 60559

SURVEY NUMBER: 2503.3099

2503.3099  
PLAT OF SURVEY  
DUPAGE COUNTY, ILLINOIS



GRAPHIC SCALE (In Feet)  
1 inch = 30' ft.

STATE OF ILLINOIS } SS  
COUNTY OF LASALLE

THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY, GIVEN UNDER MY HAND AND SEAL THIS DATE HEREON.



ILLINOIS PROFESSIONAL LAND SURVEYOR No. 2971  
LICENSE EXPIRES 11/30/2026  
EXACTA LAND SURVEYORS, LLC  
PROFESSIONAL DESIGN FIRM 184008059-0008

POINTS OF INTEREST:  
NONE VISIBLE



Exacta Land Surveyors, LLC  
PDF # 184008059  
o: 773.305.4011  
316 East Jackson Street | Morris, IL 60450



DATE OF SURVEY: 03/18/25  
FIELD WORK DATE: 3/17/2025  
REVISION DATE(S): (REV.0 3/18/2025)

SEE PAGE 2 OF 2 FOR LEGAL DESCRIPTION  
PAGE 1 OF 2 - NOT VALID WITHOUT ALL PAGES

**JOB SPECIFIC SURVEYOR NOTES:**

**LEGAL DESCRIPTION:**

LOT 2 IN BARTEL'S RESUBDIVISION OF LOT 5 IN ARTHUR T. MCINTOSH AND COMPANY'S RESUBDIVISION OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 10, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID BARTEL'S RESUBDIVISION RECORDED DECEMBER 17, 1985 AS DOCUMENT NUMBER R85-110618, IN DUPAGE COUNTY ILLINOIS.

**GENERAL SURVEYOR NOTES:**

- The Legal Description used to perform this survey was supplied by others. This survey does not determine nor imply ownership of the lands or any fences shown hereon. Unless the Title Commitment Number and Date is referenced on this survey, an examination of the abstract of title was NOT performed by the signing surveyor to determine which instruments, if any, are affecting this property.
- The purpose of this survey is to establish the boundary of the lands described by the legal description provided and to depict the visible improvements thereon for a pending financial transaction. Underground footings, utilities, or other service lines, including roof eave overhangs were not located as part of this survey. Unless specifically stated otherwise the purpose and intent of this survey is not for any construction activities or future planning.
- If there is a septic tank or drain field shown on this survey, the location depicted hereon was either shown to the surveyor by a third party or it was estimated by visual above ground inspection. No excavation was performed to determine its location.
- This survey is exclusively for a pending financial transaction and only to be used by the parties to whom it is certified.
- Alterations to this survey map and report by other than the signing surveyor are prohibited.
- Dimensions are in feet and decimals thereof.
- Any FEMA flood zone data contained on this survey is for informational purposes only. Research to obtain said data was performed at [www.fema.gov](http://www.fema.gov) and may not reflect the most recent information.
- Unless otherwise noted "SIR" indicates a set iron rebar, 5/8 inch in diameter and twenty-four inches long.
- The symbols reflected in the legend and on this survey may have been enlarged or reduced for clarity. The symbols have been plotted at the approximate center of the field location and may not represent the actual shape or size of the feature.
- Points of Interest (POI's) are select above-ground improvements, which may appear in conflict with boundary, building setback or easement lines, as defined by the parameters of this survey. These POI's may not represent all items of interest to the viewer. There may be additional POI's which are not shown or called-out as POI's, or which are otherwise unknown to the surveyor.
- Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements.
- The information contained on this survey has been performed exclusively by and is the sole responsibility of Exacta Land Surveyors, LLC. Additional logos or references to third party firms are for informational purposes only.
- Due to varying construction standards, building dimensions are approximate and are not intended to be used for new construction or planning.
- Surveyor bearings are used for angular reference and are used to show angular relationships of lines only and are not related or orientated to true or magnetic north. Bearings are shown as surveyor bearings, and when shown as matching those on the subdivision plats on which this survey is based, they are to be deemed no more accurate as the determination of a north orientation made on and for those original subdivision plats. North 00 degrees East is assumed and upon preparation of this plat, the resulting bearing between found points as shown on this survey is the basis of said surveyor bearings as defined and required to be noted by Illinois Administrative Code Title 68, Chapter VII, Sub-Chapter B, Part 1270, Section 1270.56, Paragraph B, Sub-Paragraph 6, Item k.
- THIS SURVEY IS A PROFESSIONAL SERVICE IN COMPLIANCE WITH THE MINIMUM STANDARDS OF THE STATE OF ILLINOIS. NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT ALONE. PLEASE REFER ALSO TO YOUR DEED, TITLE POLICY AND LOCAL ORDINANCES. THIS DOCUMENT MAY ONLY BE USED BY THE PARTIES TO WHICH IT IS CERTIFIED.

**SURVEYOR'S LEGEND**

LINETYPES	
	Boundary Line
	Center Line
	Chain Link or Wire Fence
	Easement
	Edge of Water
	Iron Fence
	Overhead Lines
	Structure
	Survey Tie Line
	Vinyl Fence
	Wall or Party Wall
	Wood Fence
SURFACE TYPES	
	Asphalt
	Brick or Tile
	Concrete
	Covered Area
	Water
	Wood
SYMBOLS	
	Benchmark
	Center Line
	Central Angle or Delta
	Common Ownership
	Control Point
	Catch Basin

Elevation	
	Fire Hydrant
	Find or Set Monument
	Guywire or Anchor
	Manhole
	Tree
	Utility or Light Pole
	Well

**ABBREVIATIONS**

- (C) - Calculated
- (D) - Deed
- (F) - Field
- (M) - Measured
- (P) - Plat
- (R) - Record
- (S) - Survey
- A/C - Air Conditioning
- AE - Access Easement
- ANE - Anchor Easement
- ASBL - Accessory Setback Line
- B/W - Bay/Box Window
- BC - Block Corner
- BFP - Backflow Preventer
- BLDG - Building
- BLK - Block
- BM - Benchmark
- BR - Bearing Reference
- BRL - Building Restriction Line
- BSMT - Basement
- C - Curve
- C/L - Center Line
- C/P - Covered Porch
- C/S - Concrete Slab
- CATV - Cable TV Riser
- CB - Concrete Block
- CH - Chord Bearing
- CHIM - Chimney
- CLF - Chain Link Fence
- CME - Canal Maintenance Easement
- CO - Clean Out
- CONC - Concrete
- COR - Corner
- CS/W - Concrete Sidewalk
- CUE - Control Utility Easement
- CVG - Concrete Valley Gutter
- D/W - Driveway
- DE - Drainage Easement
- DF - Drain Field
- DH - Drill Hole
- DUE - Drainage & Utility Easement
- ELEV - Elevation
- EM - Electric Meter
- ENCL - Enclosure
- ENT - Entrance
- EOP - Edge of Pavement
- EOW - Edge of Water
- ESMT - Easement
- EUB - Electric Utility Box
- F/DH - Found Drill Hole
- FCM - Found Concrete Monument
- FF - Finished Floor
- FIP - Found Iron Pipe
- FIPC - Found Iron Pipe & Cap

- FIR - Found Iron Rod
- FIRC - Found Iron Rod & Cap
- FN - Found Nail
- FN&D - Found Nail & Disc
- FRRSPK - Found Rail Road Spike
- GAR - Garage
- GM - Gas Meter
- ID - Identification
- IE/EE - Ingress/Egress Easement
- ILL - Illegible
- INST - Instrument
- INT - Intersection
- IRRE - Irrigation Easement
- L - Length
- LAE - Limited Access Easement
- LB# - License No. (Business)
- LBE - Limited Buffer Easement
- LE - Landscape Easement
- LME - Lake/Landscape Maintenance Easement
- LS# - License No. (Surveyor)
- MB - Map Book
- ME - Maintenance Easement
- MES - Mitered End Section
- MF - Metal Fence
- MH - Manhole
- MHWL - Mean High Water Line
- NR - Non-Radial
- NTS - Not to Scale
- NAVD88 - North American Vertical Datum 1988
- NGVD29 - National Geodetic Vertical Datum 1929
- OG - On Ground

- ORB - Official Records Book
- ORV - Official Record Volume
- O/A - Overall
- O/S - Offset
- OFF - Outside Subject Property
- OH - Overhang
- OHL - Overhead Utility Lines
- OHWL - Ordinary High Water Line
- ON - Inside Subject Property
- P/E - Pool Equipment
- PB - Plat Book
- PC - Point of Curvature
- PCC - Point of Compound Curvature
- PCP - Permanent Control Point
- PI - Point of Intersection
- PLS - Professional Land Surveyor
- PLT - Planter
- POB - Point of Beginning
- POC - Point of Commencement
- PRC - Point of Reverse Curvature
- PRM - Permanent Reference Monument
- PSM - Professional Surveyor & Mapper
- PT - Point of Tangency
- PUE - Public Utility Easement
- R - Radius or Radial
- R/W - Right of Way
- RES - Residential
- RGE - Range
- ROE - Roof Overhang Easement
- RP - Radius Point
- S/W - Sidewalk
- SBL - Setback Line
- SCL - Survey Closure Line
- SCR - Screen
- SEC - Section
- SEP - Septic Tank
- SEW - Sewer
- SIRC - Set Iron Rod & Cap
- SMWE - Storm Water Management Easement
- SN&D - Set Nail and Disc
- SQFT - Square Feet
- STL - Survey Tie Line
- STY - Story
- SV - Sewer Valve
- SWE - Sidewalk Easement
- TBM - Temporary Bench Mark
- TEL - Telephone Facilities
- TOB - Top of Bank
- TUE - Technological Utility Easement
- TWP - Township
- TX - Transformer
- TYP - Typical
- UE - Utility Easement
- UG - Underground
- UP - Utility Pole
- UR - Utility Riser
- VF - Vinyl Fence
- W/C - Witness Corner
- W/F - Water Filter
- WF - Wood Fence
- WM - Water Meter/Valve Box
- WV - Water valve

**CERTIFIED TO:**  
NATALIE KRONE;

**FLOOD ZONE INFORMATION:**

**DATE SIGNED:** 03/18/25

**BUYER:** NATALIE KRONE

**LENDER:**

**TITLE COMPANY:**

**COMMITMENT DATE:**

**CLIENT FILE NO:**

SEE PAGE 1 OF 2 FOR MAP OF PROPERTY  
PAGE 2 OF 2 - NOT VALID WITHOUT ALL PAGES



Exacta Land Surveyors, LLC  
PDF # 184008059  
o: 773.305.4011  
316 East Jackson Street | Morris, IL 60450



VILLAGE OF WESTMONT  
PLANNING AND ZONING COMMISSION  
AGENDA ITEM

MEETING DATE: July 9, 2025

PZC 009-2025

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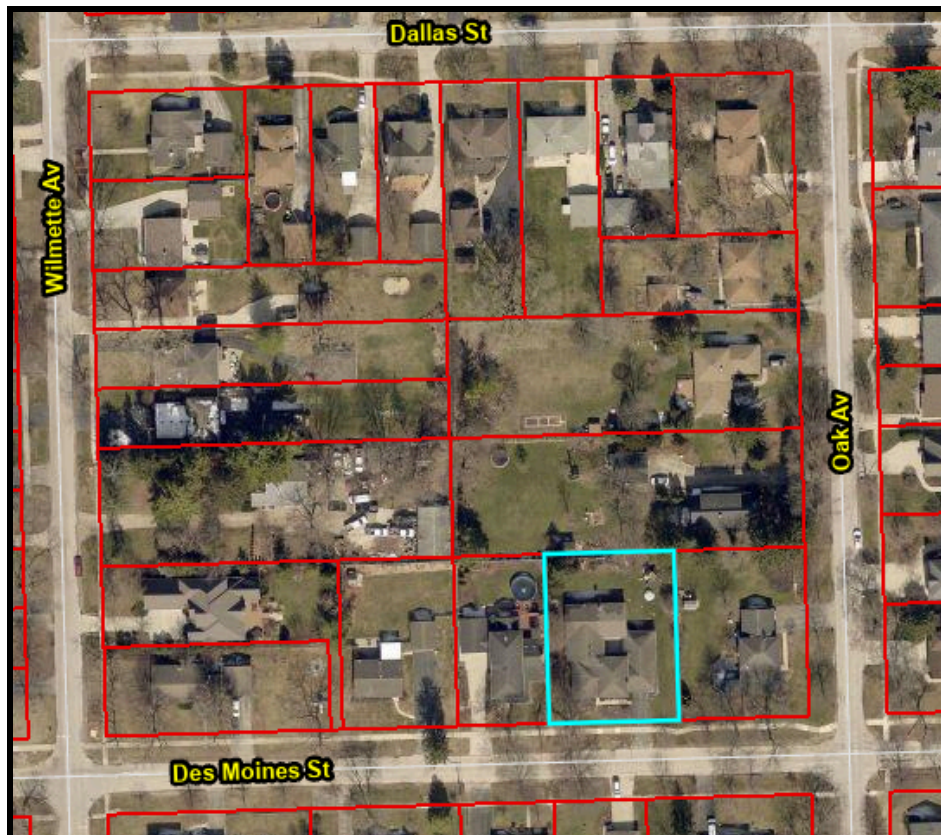
**TITLE: Request from Justin and Natalie Krone regarding the property at 232 East Des Moines Street, Westmont, Illinois, 60559, for the following:**

1. Zoning Ordinance Variance to the maximum lot coverage in the R-3 Single-Family Detached Residence District.

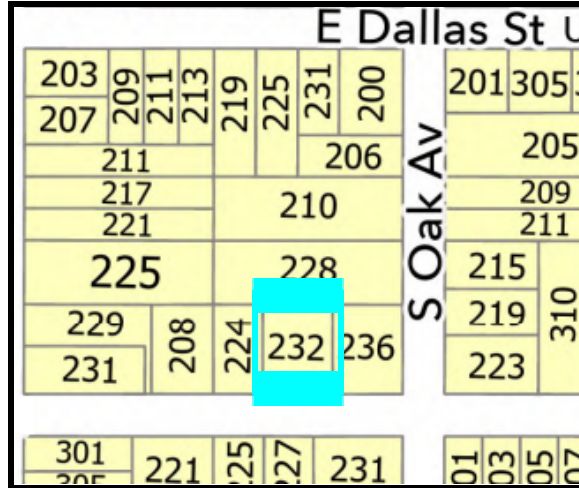
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**I. BACKGROUND OF ITEM**

- A. Location: 232 East Des Moines Street is located near the intersection of East Des Moines Street and South Oak Avenue. The property is improved with a split-level single-family detached residence initially constructed in the 1980s. Subsequent additions were constructed in 2005 and 2020. The lot is approximately 110' by 142.6', with a total area of approximately 15,713 square feet.



Aerial Map - 232 East Des Moines Street (source: DuPage County Parcel Viewer)



Zoning Map - 232 East Des Moines Street

B. Zoning Designations:

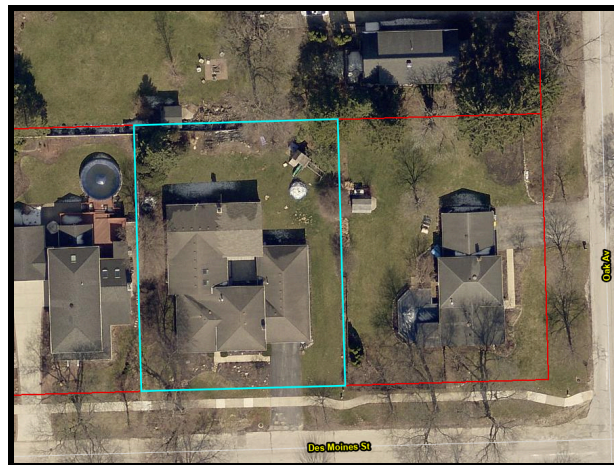
<b>SUBJECT PROPERTY</b>	R-3 Single Family Detached Residence
<b>NORTH</b>	R-3 Single Family Detached Residence
<b>SOUTH</b>	R-3 Single Family Detached Residence
<b>EAST</b>	R-3 Single Family Detached Residence
<b>WEST</b>	R-3 Single Family Detached Residence

C. Neighborhood Characteristics

The property is located in Bartel's Resubdivision, approximately three blocks southeast of the Village's Downtown. The surrounding properties largely consist of single-family detached homes that are generally single-story or split-level, with two-story homes a few lots away. The lot sizes in this area vary greatly, ranging from 7,800 square feet to almost 30,000 square feet.

II. **PETITIONER REQUEST:**

The petitioners are proposing to construct an in-ground pool, which would increase the property's lot coverage to 39%, which is 4% above the 35% maximum lot coverage for the R-3 Single-Family Detached Residence district. To exceed the maximum, the petitioners are requesting a variance.



Aerial View - 232 East Des Moines Street (source: DuPage County Parcel Viewer)

**III. ZONING ANALYSIS**

**A. Zoning and Comprehensive Plan Designations**

The Comprehensive Plan designates the current and future land use in this area as single family detached residential, with an appropriate zoning designation of R-3 Single-Family Detached Residence District. Additionally, the Plan states the following: *“Single-family residential areas should consist of one detached single household per lot, organized into neighborhoods or subdivisions. The design and construction of new homes should take into consideration the established character of surrounding single-family areas.”* This variance request does not directly conflict with either the land use plan or overall vision of the Comprehensive Plan.

**B. Entitlement Requests**

The petitioners have provided project narratives and supporting documentation for the following request, including the necessary responses to the Variance Standards. Any corresponding standards for entitlement approval consideration can be referenced in item V(B).

- **Zoning Ordinance Variance request to exceed the maximum lot coverage in the R-3 Single-Family Detached Residence District**

Lot coverage is defined as the following per Appendix A, Article XIV:

***Lot coverage:** The percentage of a zoning lot's area covered by any and all buildings, structures and permanent hardscape improvements.*

Total lot coverage is calculated by taking the total combined footprint of these improvements, dividing it by the total lot area, and then multiplying the result by 100 to express it as a percentage.

Appendix A, Section 6.04(D) states that single-family detached residences in the R-3 district have a 35% lot coverage maximum. Additionally, if a proposed project results in lot coverage between 35% and 40%, it may qualify for administrative approval rather than requiring a formal variance—so long as the property is not located within a designated building moratorium area, a known drainage problem zone, or a defined drainage sub-basin.

However, the property is ineligible for administrative approval due to the property being located within an identifiable sub-basin area, as noted in the attached comment letter from the Village's Engineering consultant. The proposed swimming pool adheres to all zoning bulk and development regulations outlined in Appendix A, with the exception of the total lot coverage.

<b>Appendix A, Section 6.04 - Bulk and Development Standards</b>			
<b>(D) Maximum Lot Coverage</b>	<b>Proposed Lot Coverage</b>	<b>Difference</b>	<b>Existing</b>
35%	~ 39%	~ 4%	~ 33.87%

The petitioners are proposing to install a 555 square foot in ground swimming pool with a 3 foot wide walkway around its perimeter. Totalling approximately 903 square feet in additional lot coverage.

Built in the 1980s, the single-family home saw a major addition in 2005, expanding its living space. Further improvements in 2020 included an attached pavilion and paver patio.

Per the attached comments from the Village's engineering consultant, the petitioner's request, if

approved, would result in a minimal impact on stormwater runoff, with an anticipated 3% increase in the peak runoff rate. This is based on the provided RBD engineering plans, which are also attached for reference. The consultant further recommends mitigating improvements, such as installing a dry well or converting other improved areas, like the driveway or walkways, to permeable pavers.

The use must be considered to the Variance Standards, which are noted below:

Standards for Variations Sec. 13.07(D):

- (1) *The planning and zoning commission shall not recommend a variation to the regulations of this comprehensive amendment as authorized herein unless it shall have made findings of fact based upon the evidence presented to it in each specific case that:*
  - (a) *The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located;*
  - (b) *The plight of the owner is due to unique circumstances; and*
  - (c) *The variation, if granted, will not alter the essential character of the locality.*
  
- (2) *For the purpose of implementing the above rules, the planning and zoning commission shall also, in making its recommendations whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts, favorable to the applicant, have been established by the evidence:*
  - (a) *The particular physical surroundings, shape or topographical features of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.*
  - (b) *The conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification.*
  - (c) *The purpose of the variation is not based exclusively upon a desire to make more money out of the property.*
  - (d) *The alleged difficulty or hardship has not been created by the owner of the property.*
  - (e) *The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.*
  - (f) *The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair the property values within the neighborhood.*

#### **IV. SUMMARY**

The Petitioners are requesting a variance to exceed the maximum lot coverage. They seek this variance to construct an in-ground pool, which would increase the property's lot coverage to 39%. This 4% increase surpasses the R-3 Single-Family Detached Residence district's 35% maximum lot coverage.

#### **V. LEGAL**

- A. Notification: A legal notice was published in Westmont Suburban Life on June 19, 2025
- B. Code References: Appendix A, Sections 6.04(D); 13.07
- C. Other Actions: The recommendation of the Planning and Zoning Commission will be referred to the Village Board for a final decision, which is anticipated to be at the August 7, 2025 meeting.

**VI. DOCUMENTS ATTACHED:**

1. Publication notice appearing in the June 19, 2025 Westmont Suburban Life
2. Engineering PZC Review comments from EZA Engineering, dated July 1, 2025
3. Petitioner Attachments:
  - a. Planning and Zoning Development Application, received May 14, 2025 (Edited for PZC)
  - b. Narrative including responses to the Variance Standards
  - c. Architectural Plans prepared by BR Design & Architects, dated April 13, 2025
  - d. Engineering Plans prepared by RBD, dated April 18, 2025
  - e. Play of Survey prepared by Exactca, dated March 18, 2025

Certificate of the Publisher

Westmont Suburban Life

Description: PZC 232 E DES MOINES ST  
2252845

VILLAGE OF WESTMONT  
31 W QUINCY ST  
WESTMONT IL 60559

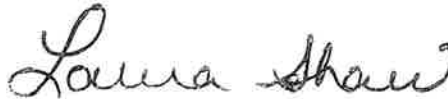
Shaw Media certifies that it is the publisher of the Westmont Suburban Life. The Westmont Suburban Life is a secular newspaper, has been continuously published weekly for more than fifty (50) weeks prior to the first publication of the attached notice, is published in the Village of Westmont, County of DuPage, State of Illinois, is of general circulation throughout that county and surrounding area, and is a newspaper as defined by 715 ILCS 5/5.

A notice, a true copy of which is attached, was published 1 time(s) in the Westmont Suburban Life, namely one time per week for one successive week(s). Publication of the notice was made in the newspaper, dated and published on 06/19/2025

This notice was also placed on a statewide public notice website as required by 715 ILCS 5/2.1.

In witness, Shaw Media has signed this certificate by Laura Shaw, its Publisher, at Westmont, Illinois, on 19th day of June, A.D. 2025

Shaw Media By:



Laura Shaw, Publisher

Account Number 10074602

Amount \$94.38

**PUBLIC NOTICE**  
**LEGAL NOTICE / PUBLIC NOTICE VILLAGE OF WESTMONT PLANNING AND ZONING COMMISSION NOTICE OF PUBLICATION**  
NOTICE IS HEREBY GIVEN that a public hearing has been scheduled before the Westmont Planning and Zoning Commission to be held on Wednesday, July 9, 2025 at 6:00 P.M. in the Westmont Village Hall, 31 W. Quincy St., Westmont, Illinois 60559.  
The purpose of the hearing is to consider a request from Justin and Natalie Krone, for the property at 232 East Des Moines Street, Westmont, Illinois, 60559, for the following:  
• Zoning Ordinance Variance to the maximum lot coverage in the R-3 Single-Family Detached Residence District.  
PIN: 09-10-313-022  
232 East Des Moines Street, Westmont, Illinois, 60559  
Village Code(s) Applicable: Appendix A, Sections 6.04 (D); 13.07  
Note: Any person who has a disability requiring a reasonable accommodation to participate in the meeting should contact the ADA Compliance Officer, 8:00 A.M. to 4:00 P.M. Monday through Friday, Village of Westmont, Illinois, 60559; or telephone (630) 981-6210 voice, within a reasonable time before the meeting. All interested persons in attendance will be allowed to express their views.  
WESTMONT PLANNING AND ZONING COMMISSION  
Doug Carmichael,  
Chairperson  
(Published in Westmont Suburban Life June 19, 2025) 2252845



### VILLAGE OF WESTMONT – ENGINEERING PZC REVIEW

PROJECT	CASE NO.	REVIEW NO.	STATUS
232 E. Des Moines Street – Lot Coverage Variance	PZC 009 2025	PZC 2	-

EZA Engineering received the following permit submittal documents on May 19, 2025:

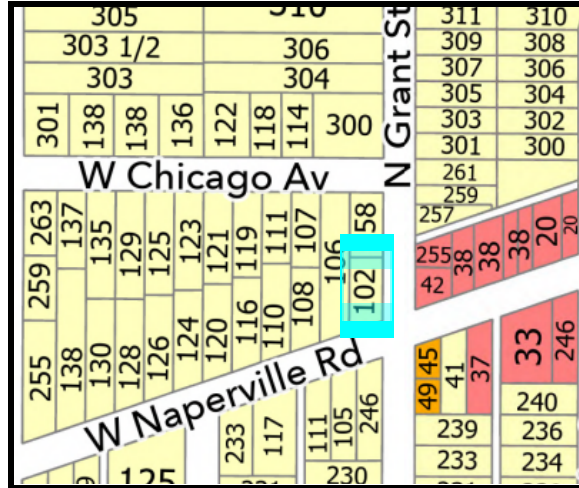
DOCUMENT	PREPARED BY	SHEETS	DATE
PZC Application	Krone	56	5-15-25
Engineering Plans	RBD Associates	3	4-18-25
Plat of Survey	Exacta Land Surveyors	2	3-18-25

The above documents have been preliminarily reviewed for compliance with the Village of Westmont Code of Ordinances (Village Code) and the DuPage Countywide Stormwater and Flood Plain Ordinance (DCSFPO). Please consider the following comments:

#### GENERAL COMMENTS

1. Sec. 6.04 (footnote 11) of the Village Code allows for administrative approval for lot coverage between 35-40% (in lieu of a variance), unless the proposed is within a known drainage problem area or within an identifiable drainage sub-basin. This property is located within sub-basin CH-P14-2, which contains a Low Depressional Area (LDA; a known drainage problem area). This LDA is concentrated around the intersection of Des Moines Street and Oak Avenue and approaches multiple residences near the intersection. The associated Base Flood Elevation is 738.0. Based on County topography, it appears a small portion (approximately 190 SF) of the southeast corner of the property is located within the LDA. This LDA is the reason the 35-40% lot coverage administrative approval was not granted.
2. If a variance is granted, the impact on stormwater runoff would be minimal. Engineering anticipates a 3% increase in the peak runoff rate generated by the proposed pool.
3. Based on the RBD engineering plans, the proposed impervious area of 6,091 SF results in 38.8% impervious area. A reduction of 591 SF to 5,500 SF is needed for 35.0% impervious area. If a variance is granted, we recommend the applicant considers the conversion of the asphalt driveway and concrete front walk to permeable pavers to avoid an adverse drainage impact on the LDA. Another alternative could be construction of a dry well to assist in mitigating the runoff generated by the 591 SF overage.





Zoning Map - 102 West Naperville Road

B. Zoning Designations:

<b>SUBJECT PROPERTY</b>	R-3 Single Family Detached Residence
<b>NORTH</b>	R-3 Single Family Detached Residence
<b>SOUTH</b>	R-3 Single Family Detached Residence
<b>EAST</b>	B-2 General Business
<b>WEST</b>	R-3 Single Family Detached Residence

C. Neighborhood Characteristics

The property is located in A.T. Macintosh & Co.'s Fairmont Gardens subdivision, which was recorded in 1920. It is approximately two blocks west of the Village's Downtown. To the east, there are automotive businesses and multiple-family residences. To the west, the surrounding properties are generally improved with single-family homes on lots between 7,000 and 10,000 square feet in area.

II. **PETITIONER REQUEST:**

Petitioners propose to construct an 18-foot by 14-foot stamped concrete patio and two 3-foot-wide walkways. This construction would raise the property's lot coverage to 43.85%, exceeding the R-3 Single-Family Detached Residence district's 35% maximum by 8.85%. Therefore, the petitioners are requesting a variance.

III. **ZONING ANALYSIS**

A. Zoning and Comprehensive Plan Designations

The Comprehensive Plan designates the current and future land use in this area as single family detached residential, with an appropriate zoning designation of R-3 Single-Family Detached Residence District. Additionally, the Plan states the following: *"Single-family residential areas should consist of one detached single household per lot, organized into neighborhoods or subdivisions. The design and construction of new homes should take into consideration the established character of surrounding single-family areas."* This variance request does not directly conflict with either the land use plan or overall vision of the Comprehensive Plan.

B. Entitlement Requests

The petitioners have provided project narratives and supporting documentation for the following request, including the necessary responses to the Variance Standards. Any corresponding standards for entitlement approval consideration can be referenced in item V(B).

- **Zoning Ordinance Variance request to exceed the maximum lot coverage in the R-3 Single-Family Detached Residence District**

Lot coverage is defined as the following per Appendix A, Article XIV:

***Lot coverage:** The percentage of a zoning lot's area covered by any and all buildings, structures and permanent hardscape improvements.*

Total lot coverage is calculated by taking the total combined footprint of these improvements, dividing it by the total lot area, and then multiplying the result by 100 to express it as a percentage.

<b>Appendix "A" Section 6.04 - Bulk and Development Standards</b>			
<b>(D) Maximum Lot Coverage Permitting</b>	<b>Proposed Lot Coverage</b>	<b>Difference</b>	<b>Existing Lot Coverage</b>
35%	~ 43.85%	~ 8.85%	~ 39.83%

Appendix A, Section 6.04(D) states that single-family detached residences in the R-3 district have a 35% lot coverage maximum. Additionally, if a proposed project results in lot coverage between 35% and 40%, it may qualify for administrative approval rather than requiring a formal variance—so long as the property is not located within a designated building moratorium area, a known drainage problem zone, or a defined drainage sub-basin.

The property is ineligible for administrative approval due to two factors: the total lot coverage exceeds the maximum allowed for administrative approval, and the property is located within an identifiable sub-basin area, as noted in the attached comment letter from the Village's Engineering consultant. The sub-basin location alone would prevent administrative approval, even if the lot coverage were between 35% and 40%. The proposed patio and walkways adhere to all zoning bulk and development regulations outlined in Appendix A, with the exception of the total lot coverage.

The petitioners purchased the property after significant site alterations by the previous, including the removal of walkways, which reduced the total lot coverage of the property to 39.83%.

Furthermore, while the property is a lot of record, its width is non-conforming to the minimum standards of Appendix B, Land Development (Sec. 4.04(a)(2)) regulations. This regulation requires corner lot width to be 20 percent greater than typical interior lots. The lot's measurable width is approximately 64.95 feet, whereas the land development code typically requires a minimum width of 72 feet. Due to this non-conforming width, the lot's area is reduced from a typical corner lot.

Should the variance be approved, the Village's engineering consultant advises that construction enhancements incorporate runoff mitigation materials, such as permeable pavers or construction of a dry well. The consultant's comments are attached for reference.

The use must be considered to the Variance Standards, which are noted below:

Standards for Variations Sec. 13.07(D):

- (1) *The planning and zoning commission shall not recommend a variation to the regulations of this comprehensive amendment as authorized herein unless it shall have made findings of fact based upon the evidence presented to it in each specific case that:*
  - (a) *The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located;*
  - (b) *The plight of the owner is due to unique circumstances; and*
  - (c) *The variation, if granted, will not alter the essential character of the locality.*
- (2) *For the purpose of implementing the above rules, the planning and zoning commission shall also, in making its recommendations whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts, favorable to the applicant, have been established by the evidence:*
  - (a) *The particular physical surroundings, shape or topographical features of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.*
  - (b) *The conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification.*
  - (c) *The purpose of the variation is not based exclusively upon a desire to make more money out of the property.*
  - (d) *The alleged difficulty or hardship has not been created by the owner of the property.*
  - (e) *The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.*
  - (f) *The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair the property values within the neighborhood.*

**IV. SUMMARY**

Petitioners propose to construct an 18-foot by 14-foot stamped concrete patio and two 3-foot-wide walkways. This construction would raise the property's lot coverage to 43.85%, exceeding the R-3 Single-Family Detached Residence district's 35% maximum by 8.85%. Therefore, the petitioners are requesting a variance.

**V. LEGAL**

- A. Notification: A legal notice was published in Westmont Suburban Life on June 19, 2025
- B. Code References: Appendix A, Sections 6.04(D); 13.07
- C. Other Actions: The recommendation of the Planning and Zoning Commission will be referred to the Village Board for a final decision, which is anticipated to be at the July 24, 2025 meeting.

**VI. DOCUMENTS ATTACHED:**

1. Publication notice appearing in the June 19, 2025 Westmont Suburban Life.
2. Engineering PZC Review comments from EZA Engineering, dated June 22, 2025
3. Petitioner Attachments:
  - a. Planning and Zoning Development Application, received May 15, 2025 (Edited for PZC)
  - b. Narrative including responses to the Variance Standards
  - c. Supplemental Material Details
  - d. Petitioners Findings of Fact Responses
  - e. Site Plan
  - f. Plat of Survey
  - g. Copy of Warranty Deed

Certificate of the Publisher

Westmont Suburban Life

Description:PZC 102 W NAPERVILLE RD  
2252840

VILLAGE OF WESTMONT  
31 W QUINCY ST  
WESTMONT IL 60559

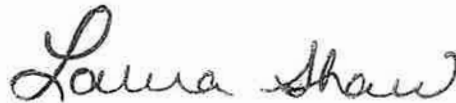
Shaw Media certifies that it is the publisher of the Westmont Suburban Life. The Westmont Suburban Life is a secular newspaper, has been continuously published weekly for more than fifty (50) weeks prior to the first publication of the attached notice, is published in the Village of Westmont, County of DuPage, State of Illinois, is of general circulation throughout that county and surrounding area, and is a newspaper as defined by 715 ILCS 5/5.

A notice, a true copy of which is attached, was published 1 time(s) in the Westmont Suburban Life, namely one time per week for one successive week(s). Publication of the notice was made in the newspaper, dated and published on 06/19/2025

This notice was also placed on a statewide public notice website as required by 715 ILCS 5/2.1.

In witness, Shaw Media has signed this certificate by Laura Shaw, its Publisher, at Westmont, Illinois, on 19th day of June, A.D. 2025

Shaw Media By:



Laura Shaw, Publisher

Account Number 10074602

Amount \$97.10

**PUBLIC NOTICE**  
LEGAL NOTICE / PUBLIC  
NOTICE VILLAGE OF  
WESTMONT PLANNING  
AND ZONING COMMISSION  
NOTICE OF PUBLICATION  
NOTICE IS HEREBY GIVEN  
that a public hearing has  
been scheduled before the  
Westmont Planning and  
Zoning Commission to be  
held on Wednesday, July 9,  
2025 at 6:00 P.M. in the  
Westmont Village Hall, 31  
W. Quincy St., Westmont,  
Illinois 60559.  
The purpose of the hearing  
is to consider a request from  
Michael Schaefer and  
Chivon Niziolek, for the  
property at 102 West  
Naperville Road, Westmont,  
Illinois, 60559, for the  
following:  
• Zoning Ordinance  
Variance to the maximum lot  
coverage in the R-3 Single-  
Family Detached Residence  
District.  
PIN: 09-09-202-019  
More Common Location:  
102 West Naperville Road,  
Westmont, Illinois, 60559  
Village Code(s) Applicable:  
Appendix A, Sections 6.04  
(D); 13.07  
Note: Any person who has  
a disability requiring a  
reasonable accommodation  
to participate in the meeting  
should contact the ADA  
Compliance Officer, 8:00  
A.M. to 4:00 P.M. Monday  
through Friday, Village of  
Westmont, Illinois, 60559;  
or telephone (630) 981-  
6210 voice, within a  
reasonable time before the  
meeting. All interested  
persons in attendance will be  
allowed to express their  
views.  
WESTMONT PLANNING AND  
ZONING COMMISSION  
Doug Carmichael,  
Chairperson  
(Published in Westmont  
Suburban Life June 19,  
2025) 2252840



### VILLAGE OF WESTMONT – ENGINEERING PZC REVIEW

PROJECT	CASE NO.	REVIEW NO.	STATUS
102 W. Naperville Road – Lot Coverage Variance	PZC 010 2025	PZC 2	-

EZA Engineering received the following permit submittal documents on June 2, 2025:

DOCUMENT	PREPARED BY	SHEETS	DATE
PZC Application	Schaefer	26	5-15-25

The above documents have been preliminarily reviewed for compliance with the Village of Westmont Code of Ordinances (Village Code) and the DuPage Countywide Stormwater and Flood Plain Ordinance (DCSFPO). Please consider the following comments:

#### GENERAL COMMENTS

1. Sec. 6.04 (footnote 11) of the Village Code allows for administrative approval for lot coverage between 35-40% (in lieu of a variance), unless the property is within an identifiable drainage sub-basin. This property is located within sub-basin B-P6-2, and therefore, is not eligible for administrative approval. Please note the following:
  - Sub-basin B-P6-2 does **not** contain a Low Depressional Area (LDA).
  - It appears the existing lot coverage of the site exceeds 40%.
2. If a variance is granted, the impact on stormwater runoff would be minimal. Engineering anticipates a 3% increase in the peak runoff rate generated by the additional patio and walk.
3. If a variance is granted, we recommend the applicant be required to construct the patio and walks using permeable pavers (or equivalent permeable pavement), as to not exacerbate any existing drainage issues within the sub-basin. Another alternative could be the construction of a dry well to assist in mitigating the runoff generated by the amount of impervious area over the 35% maximum.

RECEIVED MAY 15 2025



# Village of Westmont Planning and Zoning Application and Instructions

Community Development Department  
31 West Quincy Street  
Westmont, Illinois 60559  
630-981-6260

<i>Office Use Only</i>	
Date Received:	<u>5/15/25</u>
By:	_____

PROJECT NAME: Patio and Service Walk Addition Variance

Subject Property Street Address: 102 W. Naperville Rd. Westmont, IL 60559

PIN Number(s): 09-09-202-019

**PETITIONER / BILLING CONTACT (Agent and Project Manager for the Petition):**

Petitioner (and corporation if applicable): Mike Schaefer

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Relationship of Petitioner to Property Owner: owner

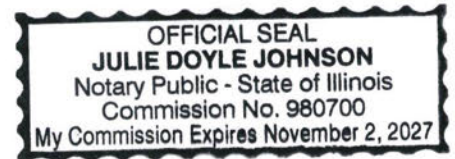
By signing below, the applicant and/or property owner acknowledge that the **Application fees are non-refundable** and that filling out this form is not a guarantee that the item will appear before the Planning and Zoning Commission. The applicant and/or property owner further acknowledge that all items recommended by Village planning staff for consideration by the Planning and Zoning Commission must have received technical approvals from the Consulting Engineer, the Consulting Landscape Architect, the Consulting Architect, the Village Forester and/or other Village staff, as deemed appropriate by the Community Development Department, before being recommended for consideration by the Planning and Zoning Commission. For this reason, while this is not a requirement, it is highly recommended that the applicant/property owner hire licensed professional engineers or architects when preparing their application materials.

**PETITIONER SIGNATURE:**

Type or print name: Michael J. Schaefer Chivon K. Niziolek  
Signature: *Michael J. Schaefer Chivon K. Niziolek*

SUBSCRIBED AND SWORN TO BEFORE ME  
THIS 15<sup>th</sup> DAY OF MAY, 2025

*Julie Doyle Johnson*  
Notary Public

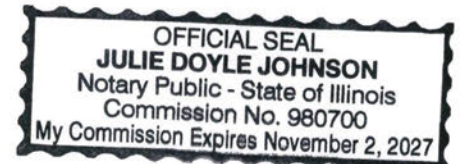


**OWNER SIGNATURE:**

Type or print name: Michael J. Schaefer Chivon K. Niziolek  
Signature: *Michael J. Schaefer Chivon K. Niziolek*

SUBSCRIBED AND SWORN TO BEFORE ME  
THIS 15<sup>th</sup> DAY OF MAY, 2025

*Julie Doyle Johnson*  
Notary Public



Mike Schaefer



May 3, 2025

Village of Westmont  
Community Development Department  
31 West Quincy Street  
Westmont, IL 60559

Attention: Scott Williams, Senior Planner

**RE: Application for Impervious Surface Variance at 102 W Naperville Rd**

Dear Mr. Williams and Members of the Planning and Zoning Commission,

I am respectfully submitting the enclosed application and accompanying documentation requesting a variance to exceed the standard impervious surface limitations at my residence, located at 102 W Naperville Rd, Westmont, Illinois.

My family and I recently purchased this home, unaware of the severe limitations regarding permissible impervious surface coverage. The current conditions of our backyard, which become muddy and unusable with regular rainfall, significantly affect our ability to fully enjoy and reasonably utilize our property. To remedy this, we propose adding a modest patio and service walk using environmentally responsible materials designed to minimize runoff and environmental impact.

This request meets the variance criteria established by the Village:

1. Without this variance, the property's outdoor space remains functionally unusable, negatively impacting the property's marketability and reasonable enjoyment.
2. Our situation is unique due to prior discrepancies in recorded impervious area percentages and specific constraints inherent in our corner-lot property.
3. The proposed improvements will align aesthetically and functionally with our neighborhood's existing character, enhancing community standards and property values.

We have carefully prepared our application materials in accordance with Village guidelines and have clearly documented our case in the enclosed Findings of Fact. We appreciate your consideration of our application and are eager to work closely with Village staff to ensure compliance with all community and environmental standards.

Thank you for your attention and assistance in this matter. Please contact me directly should you require additional information or clarification.

Respectfully submitted,

Mike Schaefer

Mike Schaefer



May 3, 2025

Village of Westmont  
Planning and Zoning Commission  
31 West Quincy Street  
Westmont, IL 60559

## Supplemental Material Detail – Proposed Patio Hardscape

### Material:

- **Type:** Stamped Concrete
- **Pattern:** Brickform Large Ashlar Slate
- **Color:** Stone Gray Color Hardener / Medium Gray Antique Release
- **Finish:** Integral color with antiquing release and surface sealer (standard for stamped concrete installations)

### Manufacturer:

- **Brand:** Brickform (A Division of Solomon Colors, Inc.)
- **Pattern Name:** Large Ashlar Slate

### Description:

The proposed patio and service walk will be constructed using Brickform's Large Ashlar Slate stamping system. This pattern replicates natural-cut slate with a modern grid layout, creating a high-end appearance with improved durability and slip resistance. The concrete will be installed over a compacted stone base and finished with a protective surface sealer to extend life and color vibrancy.

### Use Justification:

This material was selected for its visual appeal, compatibility with neighborhood aesthetics, and longevity. Stamped concrete provides a safer, more stable surface than gravel or pavers, with minimal maintenance needs and strong freeze/thaw performance.

Mike Schaefer

May 3, 2025

Village of Westmont  
Planning and Zoning Commission  
31 West Quincy Street  
Westmont, IL 60559

### **Findings of Fact – Variance Request**

#### **1.. The property in question cannot yield a reasonable return if permitted to be used only under the conditions**

Without this variance, the property's outdoor space remains functionally unusable due to consistent water saturation and lack of solid footing. The inability to build even a modest patio or service walk makes it difficult to safely access or enjoy the rear yard, materially diminishing the practical use of the property. This restriction not only impacts our day-to-day quality of life but also hinders future resale potential, as prospective buyers would reasonably expect basic outdoor livability on a residential lot. Comparable homes in the area typically include a patio or equivalent hardscape feature. Without this, the property is effectively devalued relative to local norms—failing to yield a reasonable return if confined to the current restrictions.

#### **2. The plight of the owner is due to unique circumstances.**

Several distinct physical constraints make this lot an outlier. First, it is a corner lot, which inherently limits usable backyard space due to street-facing setbacks and sidewalk easements. Second, and more significantly, the lot is exceptionally narrow, as confirmed by Village staff, which further constrains design flexibility and reduces the functional buildable area within the code-compliant envelope. While the overall square footage of the lot is similar to neighboring parcels, the narrow proportions make it disproportionately difficult to accommodate standard features like a service walk or patio without crossing coverage thresholds.

As recent buyers, we purchased the home assuming—reasonably—that we would be able to add a basic hardscape feature such as a small patio to improve the usability of the yard. That assumption was based on what is typical and common for similarly zoned properties in Westmont and neighboring towns. Only after purchase did we learn that the lot was already near the administratively approved maximum lot coverage, due in part to how the prior owner configured the hardscape. This created an unforeseen constraint we did not cause, tied to the site's unique history and physical limitations—not our personal preferences.

#### **3. The variation, if granted, will not alter the essential character of the locality.**

The proposed patio and service walk are modest in scale, located in the rear of the home, and will be constructed with materials consistent with surrounding properties. Many neighboring homes include patios, decks, or similar hardscape elements, and this project is intended to match that aesthetic norm. Granting this variation would not create visual disruption or introduce any atypical features to the streetscape or surrounding residential character. In fact, it would improve the condition of an unlandscaped, muddy area by providing a clean, permanent solution that enhances drainage, appearance, and property maintenance. As such, this request not only maintains but improves the property's contribution to the neighborhood's character and value.

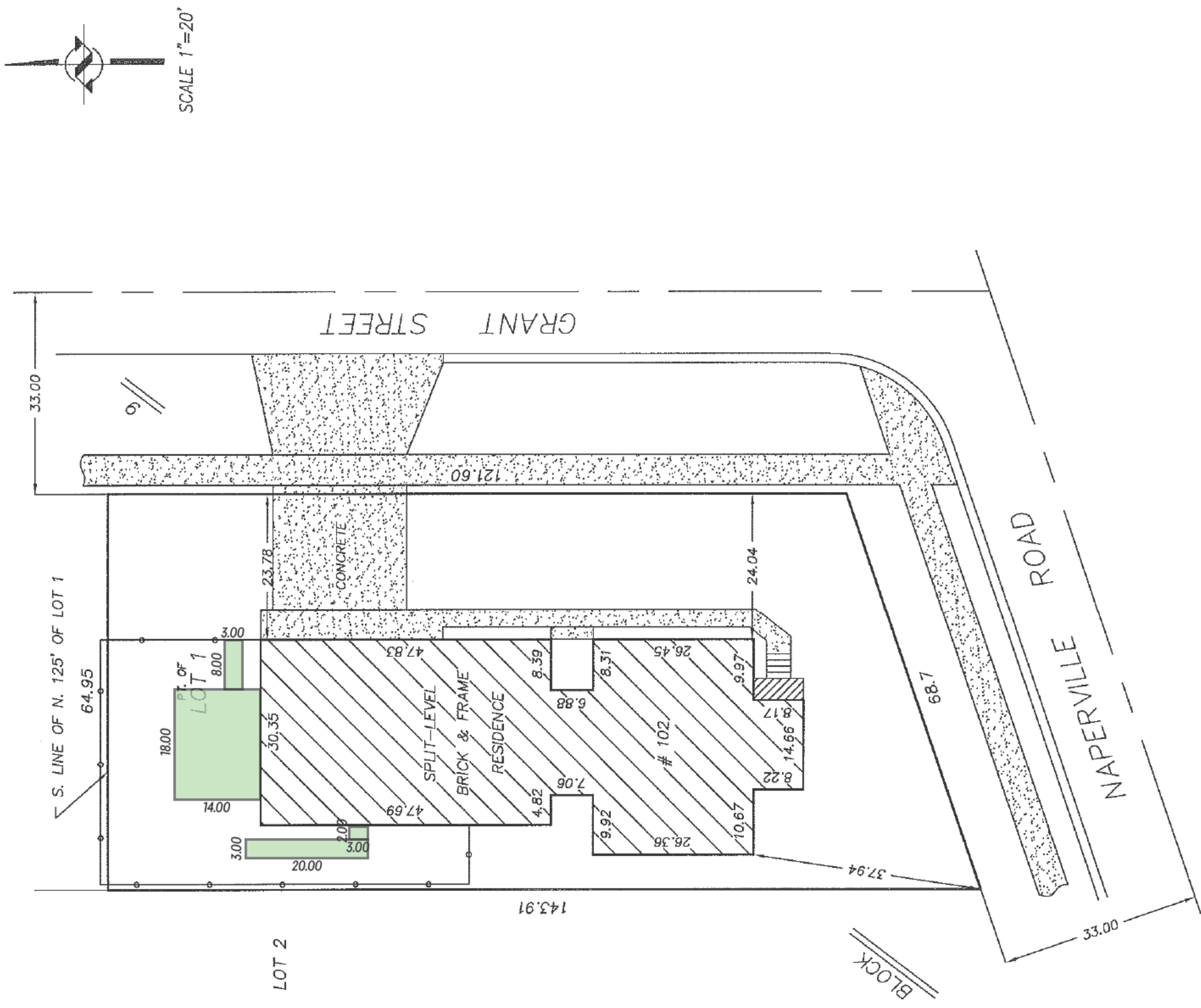
R.H. GRANATH  
 SURVEYING SERVICE, P.C.  
 PH: (708) 371-4478  
 FAX (708) 371-3922

# PLAT OF SURVEY

of

R.H. GRANATH  
 SURVEYING SERVICE, P.C.  
 6006 W. 159th STREET  
 BUILDING B UNIT 1-SOUTH  
 OAK FOREST, ILL. 60452

LOT 1 (EXCEPT THE NORTH 125 FEET OF SAID LOT 1) IN BLOCK 9, IN ARTHUR T. MCINTOSH AND COMPANY'S FAIRMONT GARDENS, BEING A SUBDIVISION IN THE SOUTHEAST 1/4 OF SECTION 14, AND IN THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 7, 1920, AS DOCUMENT NO. 144142, IN DUPAGE COUNTY, ILLINOIS.



STATE OF ILLINOIS }  
 COUNTY OF COOK } SS

THIS IS TO CERTIFY THAT R.H. GRANATH SURVEYING SERVICE, P.C. HAS ISSUED THIS PLAT FROM FIELD SURVEY DATA OBTAINED AT THE PROPERTY INDICATED IN THE CAPTION LEGAL DESCRIPTION AND PUBLIC RECORDS, AND THAT THE FOREGOING IS A TRUE AND CORRECT REPRESENTATION OF THE SAME. THIS PLAT OF SURVEY CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS OF PRACTICE FOR A BOUNDARY SURVEY PER TITLE 68 CHAPTER VII, SUBCHAPTER b; SECTION 1270.56 IN THE RULES FOR THE ILLINOIS PROFESSIONAL LAND SURVEYOR ACT. NO BOUNDARY CORNERS WERE SET DURING THIS FIELD SURVEY OF THE SUBJECT PROPERTY BY CLIENT AGREEMENT, ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF.

*[Signature]*  
 STEVEN R. GRANATH, P.E. No. 3169

DATE: APRIL 30, 2025  
 CLIENT: MIKE SCHAEFER  
 R.H.G. ORDER NO. MS 2025-04-101

VALID ONLY IF EMBOSSED SEAL IS AFFIXED

COMPARE ALL DIMENSIONS BEFORE BUILDING AND REPORT ANY DISCREPANCIES AT ONCE.

R.H. GRANATH  
 SURVEYING SERVICE, P.C.  
 PH: (708) 371-4478  
 FAX (708) 371-3922

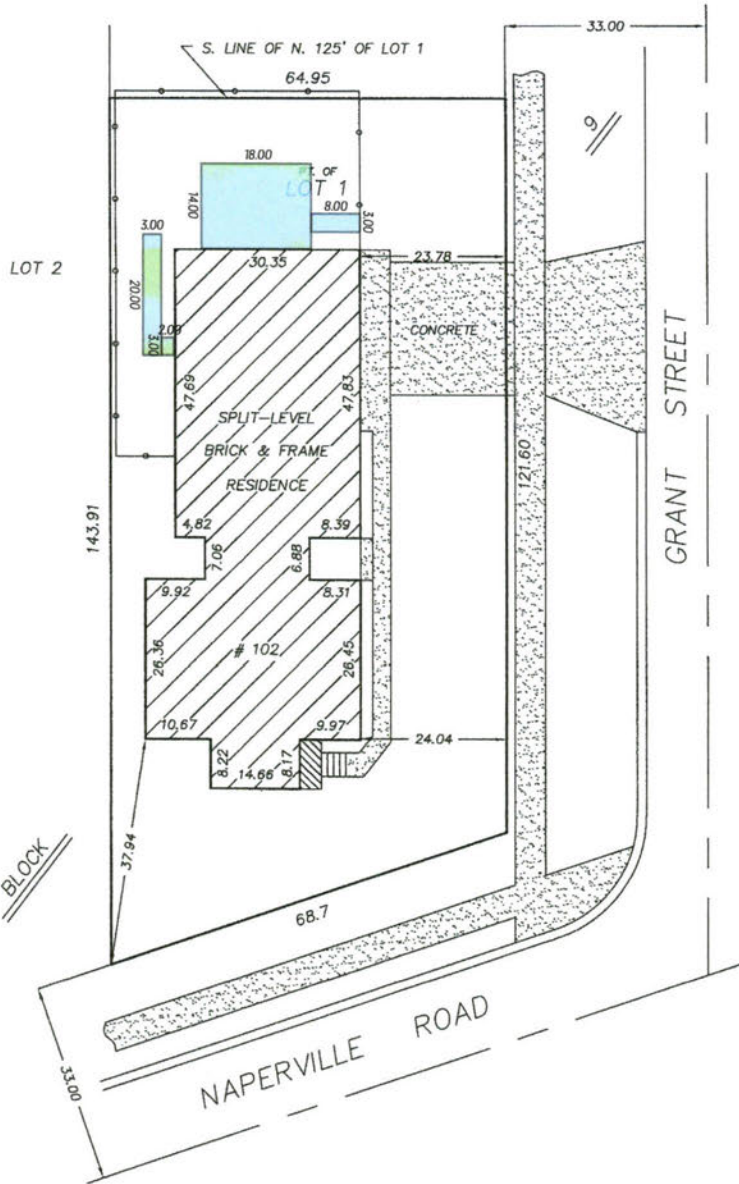
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Site Plan



STATE OF ILLINOIS }  
 COUNTY OF COOK } SS

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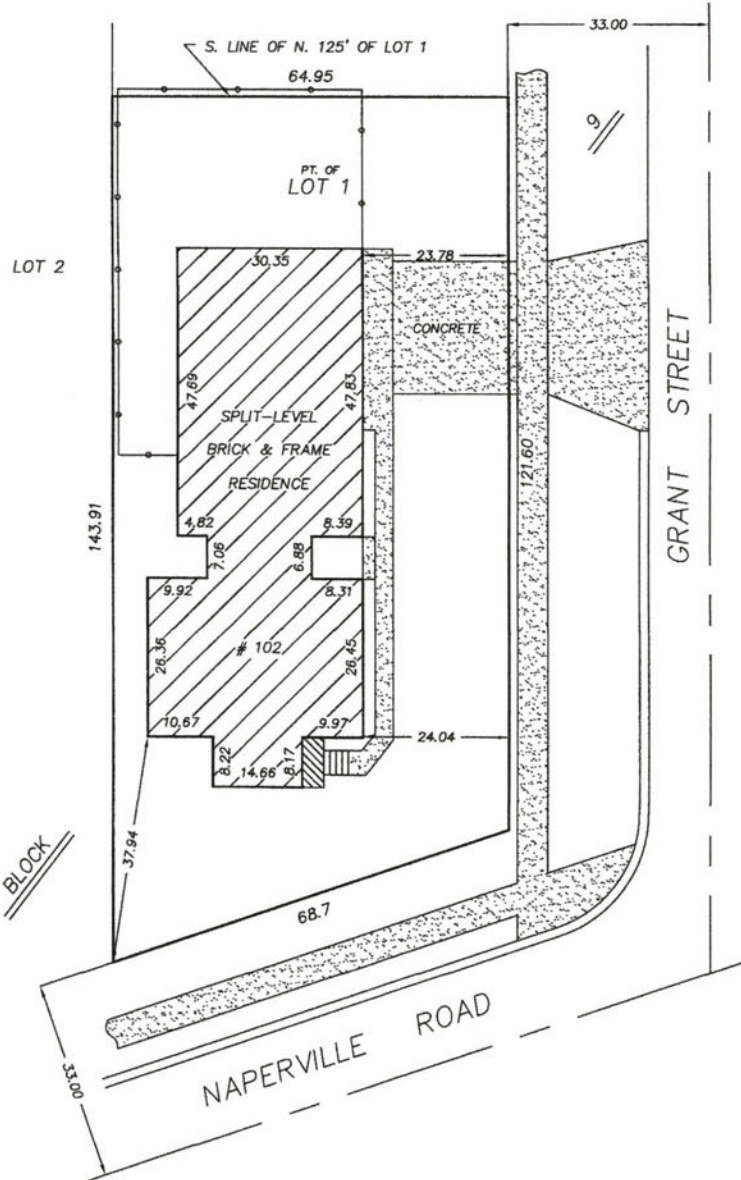
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Mike Schaefer



May 3, 2025

Village of Westmont  
Planning and Zoning Commission  
31 West Quincy Street  
Westmont, IL 60559

**Legal Description - Variance Request**

LOT 1 (EXCEPT THE NORTH 125 FEET OF SAID LOT 1) IN BLOCK 9, IN ARTHUR T. MCINOSH AND COMPANY'S FAIRMONT GARDENS, BEING A SUBDIVISION IN THE SOUTHEAST ¼ OF SECTION 14, AND IN THE NORTHEAST ¼ OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 7, 1920, AS DOCUMENT NO. 144142, IN DUPAGE COUNTY, ILLINOIS

Mike Schaefer

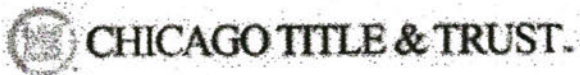


May 3, 2025

Village of Westmont  
Planning and Zoning Commission  
31 West Quincy Street  
Westmont, IL 60559

**PIN Number - Variance Request**

09-09-202-019



**WARRANTY DEED**

( LLC - Grantor )

**MAIL RECORDED DEED TO:**

Michael J Schaefer and Chivon K Niziolek  
102 W Naperville Rd, Westmont, IL 60559

**MAIL RECORDED DEED TO:**

Muhammad Matariyeh  
15 Salt Creek Ln, Ste 201 Hinsdale, IL 60521

The Grantors, TRIFECTA HOME DESIGNS, LLC , of 1022 HILLVIEW DRIVE, LEMONT, IL 60439 a Limited Liability Company, created and existing under and by virtue of the laws of the State of Illinois and duly authorized to transact business in the State of Illinois, and pursuant to authority given by the Members of said Limited Liability Company, for and in consideration of Ten Dollars (\$10.00) and other good and valuable consideration in hand paid, hereby **Convey and Warrants** to the Grantees, Michael J Schaefer and Chivon K Niziolek of 2350 N. Lincoln #3 Chicago, Illinois, all interest in the Real Estate, situated in the County of DuPage, in the State of Illinois, legally described and known as follows, to wit:

*Husband & wife as Tenants By the Entirety*

**SEE ATTACHED LEGAL DESCRIPTION RIDER**  
Permanent Index    09-09-202-019-0000  
Number:  
Property Address:    102 W Naperville Rd, Westmont, IL 60559

together with all and singular the tenements, hereditaments and appurtenances thereunto belonging; to have and to hold said premises forever, **subject to the following matters:** N/A

In Witness Whereof, the General Partners of said Limited Partnership have executed this Warranty Deed on this date:

*Matteo Alfano*  
\_\_\_\_\_

**Grantors:** TRIFECTA HOME DESIGNS a Limited Liability Company

By: Matteo Alfano, as an authorized Member / Manager





VILLAGE OF WESTMONT  
PLANNING AND ZONING COMMISSION  
AGENDA ITEM

MEETING DATE: July 9, 2025

PZC 012-2025

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**TITLE: Requests by ADVOCATE HEALTH & HOSPITALS CORPORATION, for 639 Blackhawk Drive, Westmont, Illinois, 60559, for the following:**

1. Zoning Ordinance Variance to increase the maximum sign area and height of directional signage in the B-2 General Business District.
- 

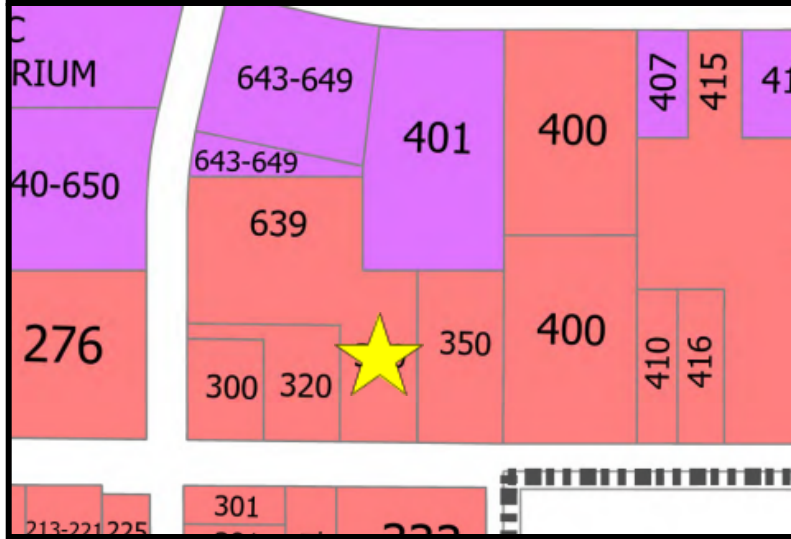
**I. BACKGROUND OF ITEM**

A. Location:

The subject site is located on the north side of Ogden Avenue and on the east side of Blackhawk Drive. In 2024, the petitioner received approvals to consolidate the property into one lot and redevelop it as Advocate Outpatient Center, a medical office. The total area of the site is approximately 145,490 square feet or 3.34 acres of land.



Aerial Map - 639 Blackhawk Drive and 330 East Ogden Avenue (prior to redevelopment)  
(source: DuPage County Parcel Viewer)



Zoning Map - 639 Blackhawk Drive

<b>SUBJECT PROPERTY</b>	B-2 General Business District
<b>NORTH</b>	M Manufacturing District
<b>SOUTH</b>	B-2 General Business District
<b>EAST</b>	M Manufacturing & B-2 General Business District
<b>WEST</b>	M Manufacturing & B-2 General Business District

B. Neighborhood Characteristics

The surrounding area has a variety of uses that include restaurants, offices, parks/recreation, light manufacturing, and retail. The site is one of three properties that has dual access along Blackhawk Drive and Ogden Avenue. Primary access to the site is taken off Blackhawk Drive, as the Ogden Avenue access point is restricted for emergency vehicles only.



Street View from Ogden Avenue (under construction) - 639 Blackhawk Drive (source: Google)

II. **PETITIONER REQUEST:**

The petitioner is requesting a variance to the maximum area and maximum height of directional signage for an outpatient medical center in the B-2 General Business District.

**III. ZONING ANALYSIS**

**A. Zoning and Comprehensive Plan Designations**

The subject site is located in the B-2 General Business District, which allows for a wide variety of commercial uses, including medical clinics as a permitted use.

The Comprehensive Plan locates this property in the Ogden Avenue Subarea, which is described as having “...retail, service, and office uses. The subarea is surrounded by strong industrial uses, office parks, and stable single family and multifamily residential neighborhoods.” The Plan further designates the subject property within the Auto Mile Character District, which has the goal of creating “...a more attractive environment in which patrons can easily access auto dealerships through a coordinated network of access points and linkages. It should also strive to minimize the impact of commercial activities on nearby residential neighborhoods.” Though the petitioner is not an auto dealer, the goal to create an attractive environment for patrons that is easily accessible is still applicable.

**B. Entitlement Requests**

The petitioners have provided project narratives and supporting documentation for the following request, including the necessary responses to the Variance Standards. Any corresponding standards for entitlement approval consideration can be referenced in item V(B).

- **Zoning Ordinance Variance request to exceed the maximum area and height for directional signs**

Directional signs are a type of exempt signage, meaning they do not count towards the maximum number of signs or gross area of signage for a property. Directional signs are most commonly found at businesses offering drive-through services such as restaurants, coffee shops, and banks. Though it is exempt, all directional signage in the B-2 district must comply with the below regulations:

<i>Appendix A, Section 11.11(D)(4) - Directional Signs</i>		
<b>Regulation</b>	<b>Permitted</b>	<b>Proposed</b>
Maximum Area	5 square feet per side	4.8 to 9 square feet per side
Maximum Height	3 feet	6 feet 6 inches

Advocate Outpatient Center is a medical office, which is also allowed in the Office/Research district (O/R). In the O/R district, larger directional signs are permitted to assist in the navigation of large office complexes. However, since the petitioner is located in the B-2 district, directional signage must comply with the regulations listed in the table above.

The petitioner explained in their project narrative that the requested variance would enhance both the operational efficiency and safety for both patients, visitors, staff, and service vehicles. The petitioner is proposing three designs of directional signage, which are attached to this report. Designs #1 and #2 are 6 feet 6 inches tall, and 9 square feet in area, variances are required to both the height and area. Design #3 is also 6 feet 6 inches tall, but is 4.8 square feet in area. Only a variance to the height is required for this design.

The request must be considered with the Variance Standards, which are listed below:

Standards for Variations Sec. 13.07(D):

- (1) *The planning and zoning commission shall not recommend a variation to the regulations of this comprehensive amendment as authorized herein unless it shall have made findings of fact based upon the evidence presented to it in each specific case that:*
  - (a) *The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located;*
  - (b) *The plight of the owner is due to unique circumstances; and*
  - (c) *The variation, if granted, will not alter the essential character of the locality.*
- (2) *For the purpose of implementing the above rules, the planning and zoning commission shall also, in making its recommendations whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts, favorable to the applicant, have been established by the evidence:*
  - (a) *The particular physical surroundings, shape or topographical features of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.*
  - (b) *The conditions upon which the petition for variation is based would not be applicable, generally, to other property within the same zoning classification.*
  - (c) *The purpose of the variation is not based exclusively upon a desire to make more money out of the property.*
  - (d) *The alleged difficulty or hardship has not been created by the owner of the property.*
  - (e) *The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.*
  - (f) *The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair the property values within the neighborhood.*
- (3) *The planning and zoning commission may recommend such conditions and restrictions upon the premises benefited by a variation as may be necessary to comply with the standards set forth in this subsection to reduce or minimize the injurious effect of such variation upon other property in the neighborhood, and better to carry out the general intent of this comprehensive amendment.*

#### **IV. SUMMARY**

The petitioner is requesting a variance to the maximum area and maximum height of directional signage to allow for three signs to be 6 feet 6 inches tall and two signs to be 9 square feet in area for an outpatient medical center in the B-2 General Business District.

#### **V. LEGAL**

- A. Notification: Publication notice appearing in the June 19, 2025 Westmont Suburban Life.
- B. Code References: Appendix A, Sections 11.11(D)(4); 13.07
- C. Other Actions: The recommendation of the Planning and Zoning Commission is anticipated to be referred to the Village Board for a final decision on July 24, 2025.

#### **VI. DOCUMENTS ATTACHED:**

- A. Publication notice appearing in the June 19, 2025 Westmont Suburban Life.
- B. Petitioner Attachments:
  1. Planning and Zoning Application received on June 4, 2025 (Edited for PZC);
  2. Cover Letter including responses to the Variance Standards;
  3. Proposed Directional Signage;
  4. Warranty Deed (for two properties prior to the consolidation);
  5. ALTA/NSPS Land Title Survey (prior to consolidation)
  6. Final Site Plan

Certificate of the Publisher

Westmont Suburban Life

Description:PZC 639 BLACKHAWK DR  
2252849

VILLAGE OF WESTMONT  
31 W QUINCY ST  
WESTMONT IL 60559

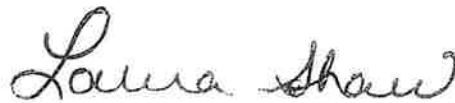
Shaw Media certifies that it is the publisher of the Westmont Suburban Life. The Westmont Suburban Life is a secular newspaper, has been continuously published weekly for more than fifty (50) weeks prior to the first publication of the attached notice, is published in the Village of Westmont, County of DuPage, State of Illinois, is of general circulation throughout that county and surrounding area, and is a newspaper as defined by 715 ILCS 5/5.

A notice, a true copy of which is attached, was published 1 time(s) in the Westmont Suburban Life, namely one time per week for one successive week(s). Publication of the notice was made in the newspaper, dated and published on 06/19/2025

This notice was also placed on a statewide public notice website as required by 715 ILCS 5/2.1.

In witness, Shaw Media has signed this certificate by Laura Shaw, its Publisher, at Westmont, Illinois, on 19th day of June, A.D. 2025

Shaw Media By:



Laura Shaw, Publisher

Account Number 10074602

Amount \$95.74

**PUBLIC NOTICE**  
**LEGAL NOTICE / PUBLIC**  
**NOTICE VILLAGE OF**  
**WESTMONT PLANNING**  
**AND ZONING COMMISSION**  
**NOTICE OF PUBLICATION**  
**NOTICE IS HEREBY GIVEN**  
that a public hearing has been scheduled before the Westmont Planning and Zoning Commission to be held on Wednesday, July 9, 2025 at 8:00 P.M. in the Westmont Village Hall, 31 W. Quincy St., Westmont, Illinois 60559.  
The purpose of the hearing is to consider a request from Advocate Health and Hospitals Corporation, for the property at 639 Blackhawk Drive, Westmont, Illinois, 60559, for the following:  
• Zoning Ordinance Variance to the maximum height and area of directional signs in the B-2 General Business District.  
PIN: 09-03-106-023  
639 Blackhawk Drive, Westmont, Illinois, 60559  
Village Code(s) Applicable: Appendix A, Sections 11.11 (D)(4); 13.07  
Note: Any person who has a disability requiring a reasonable accommodation to participate in the meeting should contact the ADA Compliance Officer, 8:00 A.M. to 4:00 P.M. Monday through Friday, Village of Westmont, Illinois, 60559; or telephone (630) 981-6210 voice, within a reasonable time before the meeting. All interested persons in attendance will be allowed to express their views.  
WESTMONT PLANNING AND ZONING COMMISSION  
Doug Carmichael,  
Chairperson  
(Published in Westmont Suburban Life June 19, 2025) 2252849



# Village of Westmont Planning and Zoning Application and Instructions

PZC 012-2025

Community Development Department  
31 West Quincy Street  
Westmont, Illinois 60559  
630-981-6260

<i>Office Use Only</i>
Date Received: _____
By: _____

**PROJECT NAME:** Advocate Outpatient Center (AOC) Blackhawk Dr

**Subject Property Street Address:** 639 Blackhawk Drive, Westmont, Illinois 60559

**PIN Number(s):** 09-03-106-020, 09-03-106-022

**PETITIONER / BILLING CONTACT (Agent and Project Manager for the Petition):**

Petitioner (and corporation if applicable): Peter Messina

Address: 2025 Windsor Drive, Oak Brook, Illinois 60523

Phone: 773.780.9759

Email: peter.messina@aah.org

Relationship of Petitioner to Property Owner: Vice President  
Operations Ambulatory & Non Clinical  
Design and Construction

**PROJECT DESCRIPTION:**

Sign Variance for directional signage Appendix A Section 11.11 Exemptions (D)

The Advocate Outpatient Center in Westmont will be a two-story, 42,000SF facility with 215 surface parking spaces. The new site includes space for an expansion to the south. The program consists of Primary Care, Obstetrics, Ortho/Sports Medicine, ICC and Imaging Rooms. The clinic will provide a hybrid on/off stage clinic module to be used for operational flexibility and many of the room standards will be deployed with modular/prefab opportunities. The exterior materials and interior environments will identify as a branded Advocate facility.

**PROPERTY OWNER INFORMATION (IF DIFFERENT THAN PETITIONER):**

Property owner(s): Advocate Health and Hospitals Corporation

Address: 2025 Windsor Drive, Oak Brook, IL 60523

Phone: Peter Messina (agent)

Email: peter.messina@aah.org / Cell: 773.780.9759

**BUSINESS OWNER INFORMATION (IF DIFFERENT THAN PETITIONER and PROPERTY OWNER):**

Property owner(s): See above:

Address: See above:

Phone: See above:

Email: See above:

**PROJECT STAFF:**

**Developer:** Peter Messina

**Company Name:** Advocate Health & Hospitals Corp.

**Phone:** 773.780.9759

**Email:** peter.messina@aah.org

**Attorney:** James Slinkman

**Company Name:** Advocate Health Care

**Phone:** 630.9829.8155

**Email:** james.slinkman@aah.org

**Engineer:** Spencer Craig

**Company Name:** Eriksson Engineering Associates, LTD.

**Phone:** 414.930.7221

**Email:** scraig@eea-ltd.com

**Architect:** Chris Martin

**Company Name:** HDR, INC.

**Phone:** 312.307.8739

**Email:** christopher.martin@hdrinc.com

**Landscape Architect:** Zack Rees

**Company Name:** HDR, INC.

**Phone:** 312.470.9517

**Email:** zack.rees@hdrinc.com

1.1 Completed Application Form

By signing below, the applicant and/or property owner acknowledge that the **Application fees are non-refundable** and that filling out this form is not a guarantee that the item will appear before the Planning and Zoning Commission. The applicant and/or property owner further acknowledge that all items recommended by Village planning staff for consideration by the Planning and Zoning Commission must have received technical approvals from the Consulting Engineer, the Consulting Landscape Architect, the Consulting Architect, the Village Forester and/or other Village staff, as deemed appropriate by the Community Development Department, before being recommended for consideration by the Planning and Zoning Commission. For this reason, while this is not a requirement, it is highly recommended that the applicant/property owner hire licensed professional engineers or architects when preparing their application materials.

**PETITIONER SIGNATURE:** Peter Messina, Vice President  
Type or print name: Operations Ambulatory & Non Clinical-Design and Construction  
Signature: [Handwritten Signature]

SUBSCRIBED AND SWORN TO BEFORE ME  
THIS 29<sup>th</sup> DAY OF May, 20 25  
[Handwritten Signature]  
Notary Public



**OWNER SIGNATURE:** Advocate Health and Hospitals Corporation  
Peter Messina, Vice President (Agent)  
Type or print name: Operations Ambulatory & Non Clinical-Design and Construction  
Signature: [Handwritten Signature]

SUBSCRIBED AND SWORN TO BEFORE ME  
THIS 29<sup>th</sup> DAY OF May, 20 25  
[Handwritten Signature]  
Notary Public





## PZC Application Request Cover Letter

Date: Tuesday, May 30, 2025

Project: Advocate Outpatient Center (AOC) Westmont Blackhawk Dr

To: Village of Westmont Community Development Department

From: HDR

Subject: Advocate Outpatient Center (AOC) 639 Blackhawk PZC Application  
Signage Variance: Directional Signage

Advocate Health Care respectfully submits this PZC Application, along with the accompanying materials, to formally request a variance for maximum height and area allowances for directional signage at the Advocate Outpatient Center (AOC), located at 639 Blackhawk Drive.

Please refer to the table below for a detailed, numbered list of the submitted materials, organized in accordance with the numbering and order outlined in the application checklist.

We appreciate the opportunity to collaborate with the Village and look forward to working together to bring this important project to fruition.

### PZC Application Materials Checklist

Application Page Numbers	Checklist Number	Material Name	Material Description
2-13	1.1	Completed Application Form	Completed application form with notes from Mr. Scott Williams
14-15	1.2	Completed Fee Schedule	Completed fee schedule with notes from Mr. Scott Williams
16-19	1.4	Cover Letter	Cover letter with numbered listing and description of items
20	1.5	Legal Description	Legal description per the Deeds on file with DuPage County
N/A	1.6	Non-refundable Filing Fees	
21	1.7	Plat of Survey	Plat of Survey



22	1.8	PIN Numbers	PIN numbers per the Deeds on file with DuPage County
23-27	1.11	Proof of Ownership	Proof of ownership per the Deeds on file with DuPage County
28	3.4	Site Plan, Final	Final PZC Submission site geometry plan
29	3.4	Site Plan, Final	Final Permit Submission site geometry plan
30	N/A	Signage Location Plan	Proposed location of the signage on a site plan
31-33	N/A	Signage Rendering	Proposed rendering of signage with all dimensions including height and installation depth
34-35	10.8	Plat of Subdivision, Final	Final plat of subdivision
18	13.1	Signage Variance Request Letter	Letter indicating the requested signage variance
19	13.2	Response to Variance Standards	Response to each of the Variance Standards

**Project Name**

Advocate Outpatient Center (AOC) Blackhawk Dr

**Subject Property Street Address**

639 Blackhawk Drive, Westmont, Illinois 60559

**PIN Numbers(s)**

09-03-106-020, 09-03-106-022

**Project Description**

The Advocate Outpatient Center in Westmont will be a two-story, 42,000-square-foot facility featuring 215 surface parking spaces. The site is designed to accommodate a future expansion to the south. The facility will house a range of services, including Primary Care, Obstetrics, Orthopedics/Sports Medicine, ICC, and Imaging Rooms.

The clinic will utilize a hybrid on-stage/off-stage module to support operational flexibility, with many room standards incorporating modular and prefabricated construction methods. Both the exterior materials and interior design will reflect Advocate's branded identity, creating a cohesive and recognizable patient experience.



**Variance Request (13.1, 13.2)**

*Appendix A Zoning, Article XI. – Signs, Sec. 11.11. – Exemptions (D)(4):*

Description: The Advocate Health Care Design Team respectfully requests a variance for three signs from the maximum height (three feet) and area (five square feet) limitations for directional signage, as outlined in Appendix A – Zoning, Article XI – Signs, Section 11.11 – Exemptions (D)(4), for parcels located within the B-2 General Business District. The requested variance seeks approval for a maximum directional signage height of six feet six inches and a maximum sign area of nine square feet per side.

Reason: The current maximum signage height and area permitted by the Code of Ordinances—three feet and five square feet respectively—is insufficient for effective visibility from passenger and service vehicles within a healthcare setting. In contrast to simpler environments like fast food establishments, which often feature linear and intuitive circulation patterns, healthcare facilities require more visible wayfinding to accommodate diverse user needs and vehicle types.

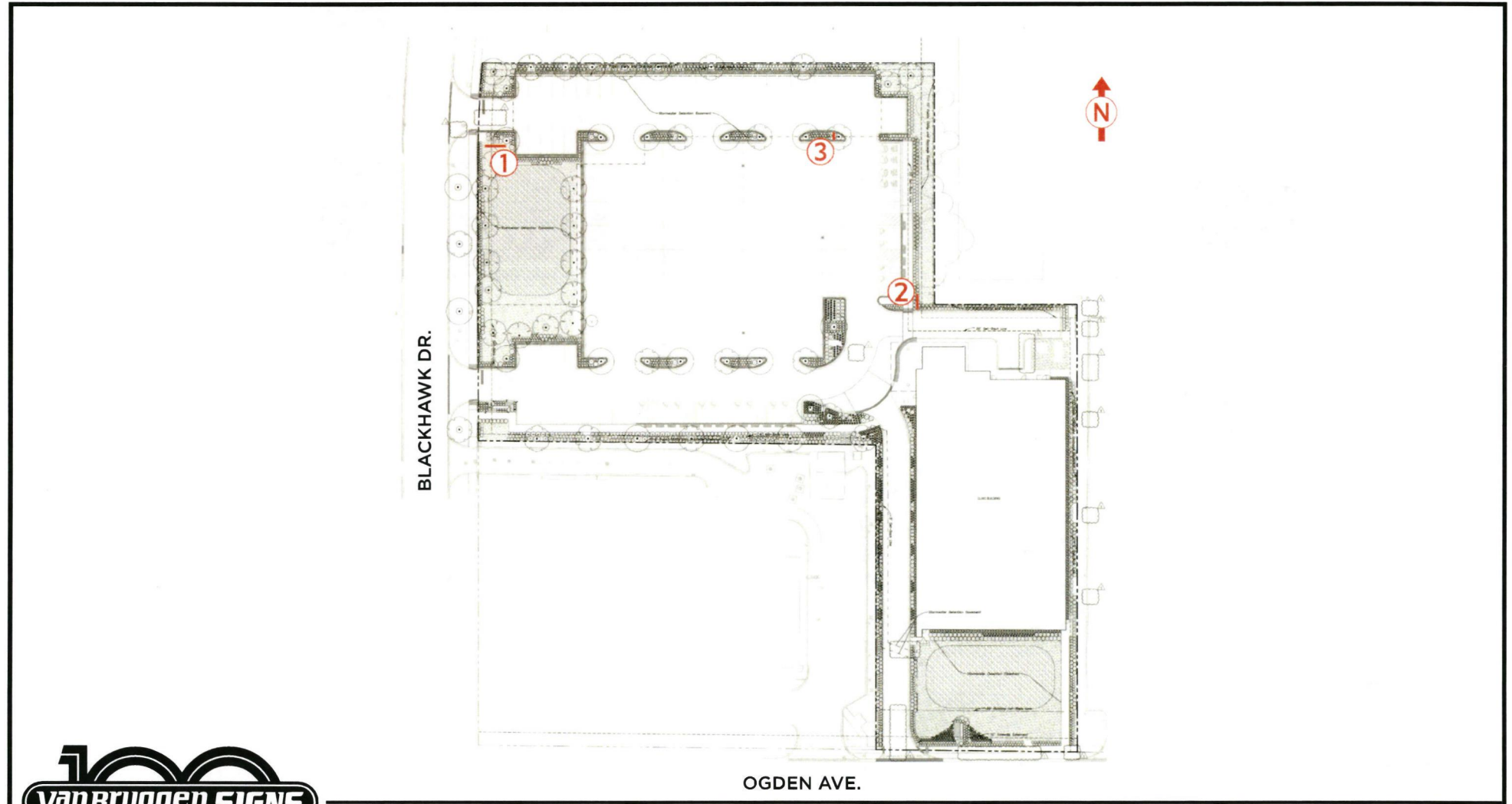
Allowing increased directional signage height and area would significantly enhance safety and navigation for patients, staff, and visitors. It would improve traffic flow, reduce confusion, and contribute to a more organized and less stressful experience on site.

Consideration Items: The Advocate Outpatient Center is located within a general business corridor, surrounded primarily by automotive dealerships and fast-food establishments, and adjacent to a manufacturing district. With no nearby residential zoning, the proposed size of the directional signage is appropriate and consistent with the surrounding context. The signage design prioritizes wayfinding over advertising, incorporating only a small, wordless logo in the upper corner as a subtle identifying mark. The Office/Research (O/R) District, which permits healthcare-related facilities like this outpatient center, allows directional signage to be a maximum height of six feet and a maximum area of nine square feet per side.



Standard for Variation:

- (a) *The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located;*
  - The current district guidelines for directional signage hinder the outpatient center's ability to provide effective wayfinding for patients, staff, and service vehicles. This results in reduced operational efficiency, increased safety risks, and a compromised patient experience, ultimately impairing the facility's performance and limiting its ability to achieve a reasonable return on investment.
- (b) *The plight of the owner is due to unique circumstances; and*
  - The owner's request for a variance is driven by site-specific operational requirements, the unique wayfinding demands of healthcare facilities, and a misalignment between the signage size limits intended for general business use and the functional needs of healthcare use at an outpatient medical center. Granting the variance would align the property's use with signage standards already considered reasonable in similar healthcare-permitted districts.
- (c) *The variation, if granted, will not alter the essential character of the locality.*
  - The proposed signage variance maintains the visual and functional character of the surrounding business corridor and manufacturing district. It introduces no new or disruptive elements and aligns with the commercial context of the area, meeting the operational needs of the outpatient center while remaining strictly functional rather than promotional.

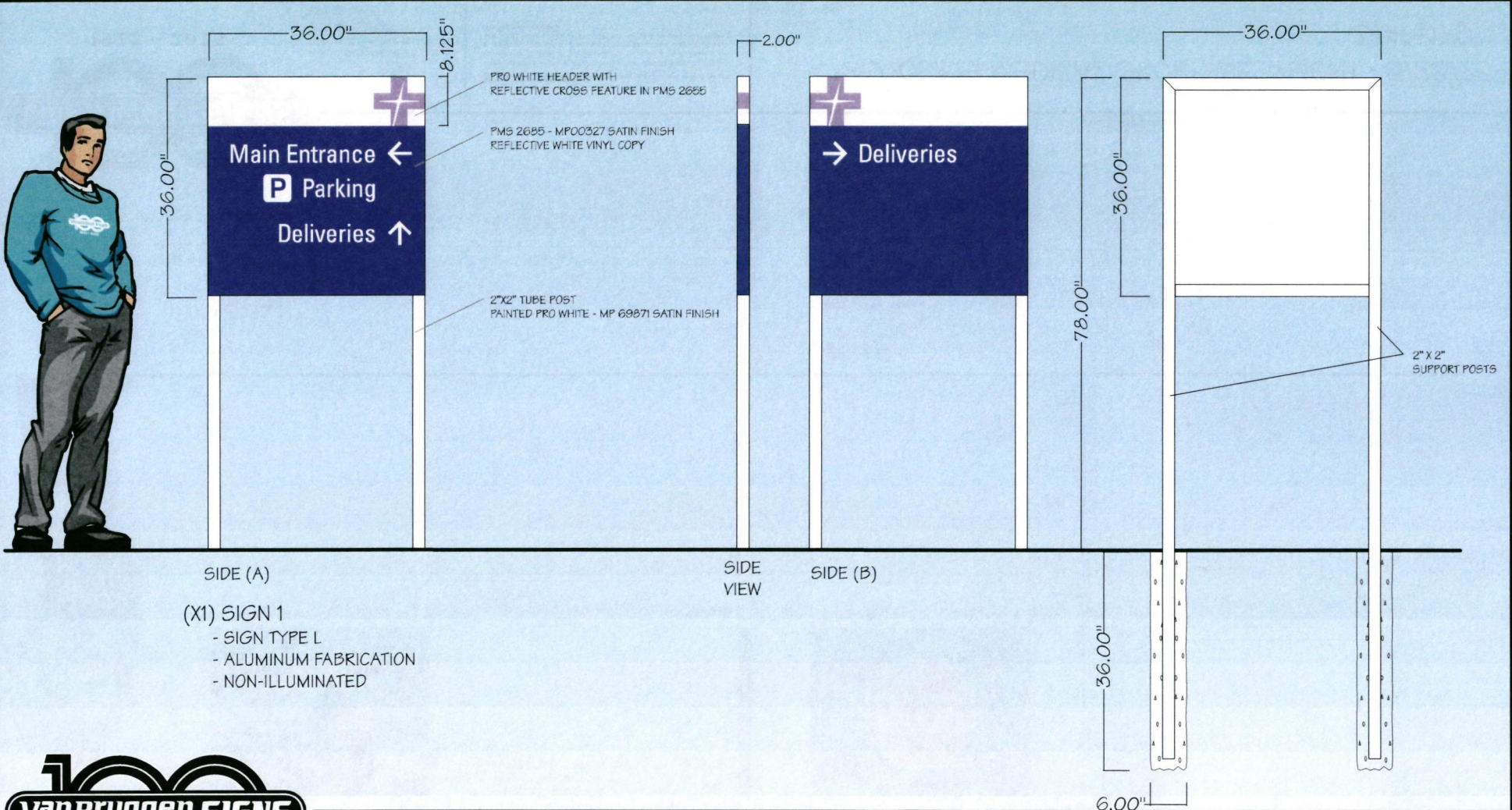


13401 SOUTHWEST HWY.  
ORLAND PARK, ILLINOIS  
708.448.0826  
vbsign.com

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in a compensation fee of \$500.00 for the time and effort entailed in  
creating these drawings.

ADVOCATE MEDICAL GROUP, WESTMONT - 5/28/25

Signage Rendering



SIDE (A)  
 (X1) SIGN 1  
 - SIGN TYPE L  
 - ALUMINUM FABRICATION  
 - NON-ILLUMINATED

SIDE VIEW  
 SIDE (B)

2" X 2" SUPPORT POSTS

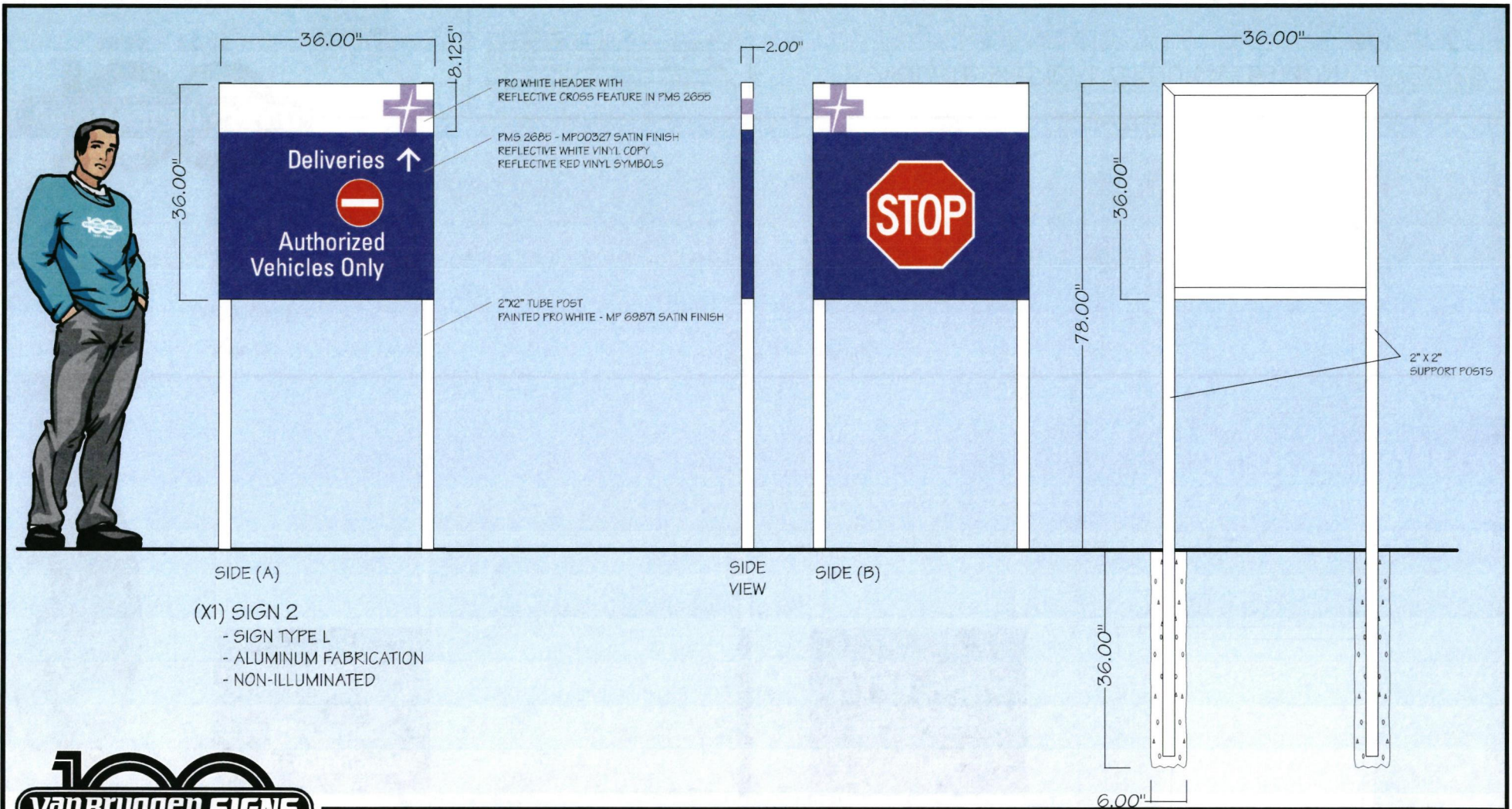


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ADVOCATE MEDICAL GROUP, WESTMONT - 5/28/25  
 3/4"=1'-0"

Signage Rendering



(X1) SIGN 2  
 - SIGN TYPE L  
 - ALUMINUM FABRICATION  
 - NON-ILLUMINATED

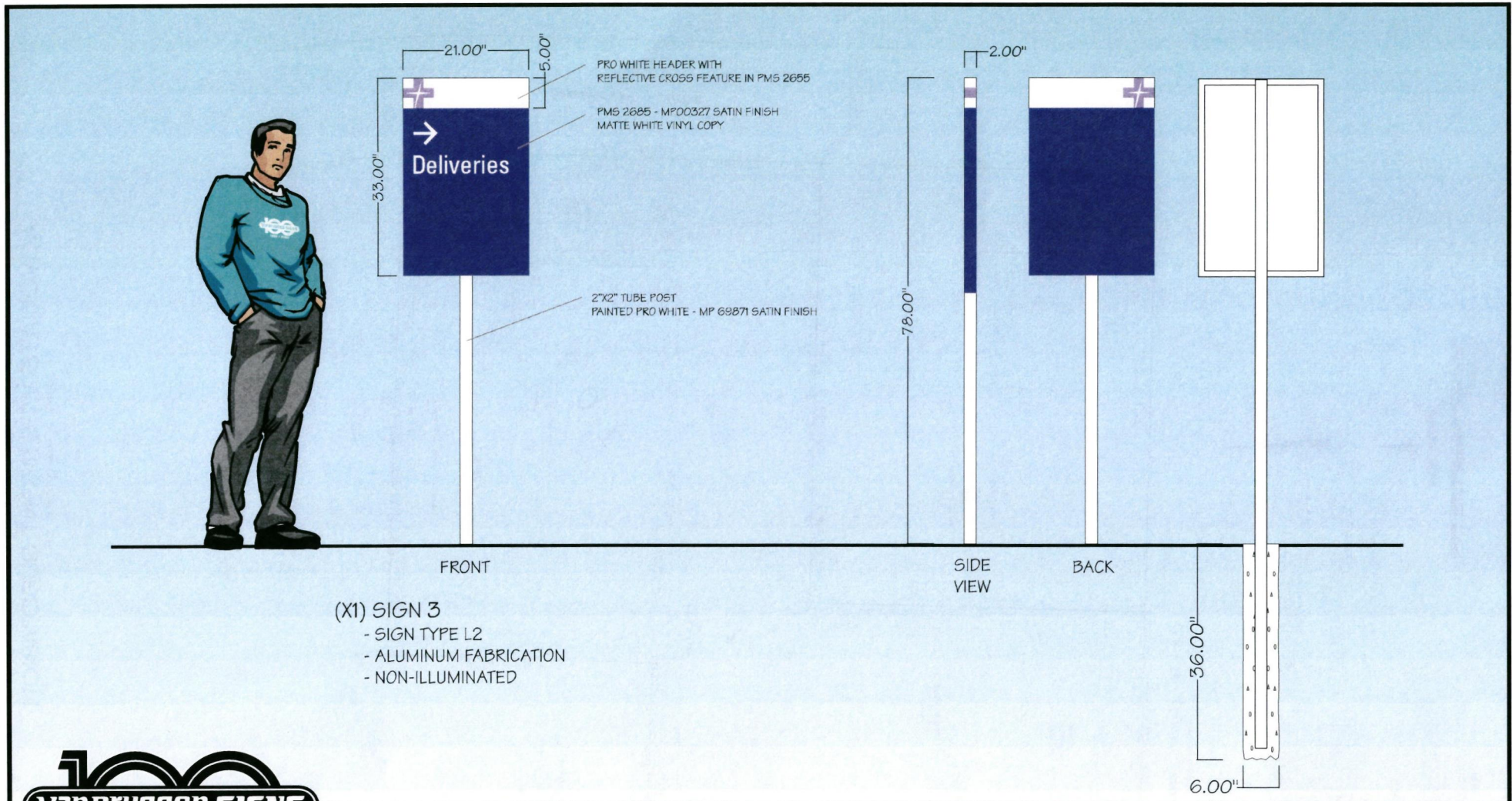


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ADVOCATE MEDICAL GROUP, WESTMONT - 5/28/25  
 3/4"=1'-0"

Signage Rendering



- (X1) SIGN 3
- SIGN TYPE L2
  - ALUMINUM FABRICATION
  - NON-ILLUMINATED



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creating these drawings.

ADVOCATE MEDICAL GROUP, WESTMONT - 5/28/25  
3/4"=1'-0"

**WARRANTY DEED**

KATHLEEN V. CARRIER, RECORDER  
DUPAGE COUNTY ILLINOIS  
04/12/2023 02:01 PM  
RHSP

**Property:**

330 E. Ogden Avenue  
Westmont, IL 60559  
PIN: 09-03-106-020

DOCUMENT # R2023-021812

**Grantee Address & Subsequent Tax Bills to:**

Advocate Health and  
Hospitals Corporation  
3075 Highland Parkway, Suite 600  
Downers Grove, IL 60515  
Attn: H. James Slinkman

CTIC  
2201142560F

GRANTOR, **330 E. OGDEN, LLC**, an Illinois limited liability company, in consideration of Ten Dollars in hand paid and other good and valuable consideration, hereby CONVEYS and WARRANTS to GRANTEE, **ADVOCATE HEALTH AND HOSPITALS CORPORATION**, a tax-exempt Illinois not-for-profit corporation, the above-referenced commercial Property located in DuPage County, Illinois, legally described in Exhibit "A" attached hereto.

Exempt from Transfer Taxes per Par. (b 3) of  
Section 31-45, IL Property Tax Code.

4/11/2023  
Date

*Brian J. Mulhern*  
Attorney

DATED this 11<sup>th</sup> day of April, 2023.

**330 E. OGDEN, LLC**, an Illinois limited liability company  
By: **Radandt Holdings, LLC**, a Florida LLC, **Manager**

By: *[Signature]*  
**VINCENT C. PRIEST, Manager**

State of Illinois, County of DuPage ) ss.

The undersigned Notary Public hereby certifies that, **VINCENT C. PRIEST**, now of Hinsdale, Illinois, personally known to me to be the same person whose name is subscribed to the foregoing instrument on behalf of **330 E. OGDEN, LLC**, an Illinois limited liability company (or having produced sufficient identification), appeared before me this day in person and acknowledged signing the said instrument as a free and voluntary act, and as the free and voluntary act of said LLC, for the uses and purposes therein set forth.

Given under my hand and official Notary seal  
this 11<sup>th</sup> day of April, 2023.

*Brian J. Mulhern*  
Notary Public  
**OFFICIAL SEAL**  
BRIAN J MULHERN  
NOTARY PUBLIC, STATE OF ILLINOIS  
MY COMMISSION EXPIRES. 3/11/2026

**Prepared by:** Brian J. Mulhern, 15 Salt Creek Lane, Suite 200, Hinsdale, IL 60521 (630) 850-9520

**Upon Recording, Mail To:** H. James Slinkman, Advocate Health and Hospitals Corporation  
3075 Highland Parkway, Suite 600 Downers Grove, IL 60515

**WARRANTY DEED**

KATHLEEN V. CARRIER, RECORDER  
DUPAGE COUNTY ILLINOIS  
04/12/2023 11:26 AM  
RHSP

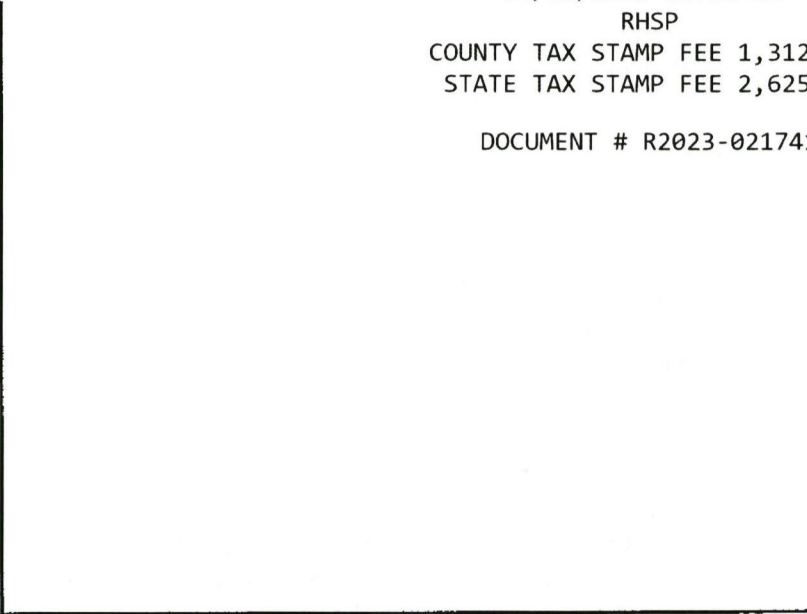
COUNTY TAX STAMP FEE 1,312.50  
STATE TAX STAMP FEE 2,625.00

DOCUMENT # R2023-021741

WARRANTY  
DEED (ILLINOIS)

2-2-6 SA 574105LP

2-2-6 SA 574105LP



(Space Above For Recorder's Use)

This Warranty Deed (this "**Deed**") is dated this 10<sup>th</sup> day of APRIL, 2023, between MAGNET-SCHULTZ AMERICA HOLDING, LLC, an Illinois limited liability corporation having a principal place of business located at 401 Plaza Drive, Westmont, Illinois 60559-1233 ("**Grantor**") and ADVOCATE HEALTH AND HOSPITALS CORPORATION, an Illinois not for profit corporation having a principal place of business located at 3075 Highland Parkway, Suite 600, Downers Grove, IL 60515 ("**Grantee**").

WITNESSETH, that Grantor, for and in consideration of the sum of \$10.00 and other valuable consideration, the receipt whereof is hereby acknowledged by Grantor, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell, convey and confirm unto Grantee, all of that certain real property, situated, lying and being in the City of Westmont, County of DuPage, State of Illinois, and more particularly legally described on **Exhibit A** attached hereto (the "**Property**"), and having:

Parcel ID or Permanent Index Number: 09-03-106-022-0000  
Common Address: 639 Blackhawk Drive, Westmont, Illinois 60559

TOGETHER WITH all and singular the hereditaments and appurtenances thereunto belonging, or in anywise appertaining, and the reversion and reversions, remainder and remainders; and all the estate, rights, title, interest, claim and demand whatsoever, of Grantor, either in law or equity, of, in and to the Property, in each case, if any;

SUBJECT TO the "**Permitted Exceptions**" attached hereto as **Exhibit B** and incorporated herein by this reference;









VILLAGE OF WESTMONT  
PLANNING AND ZONING COMMISSION  
AGENDA ITEM

MEETING DATE: July 9, 2025

PZC 013-2025

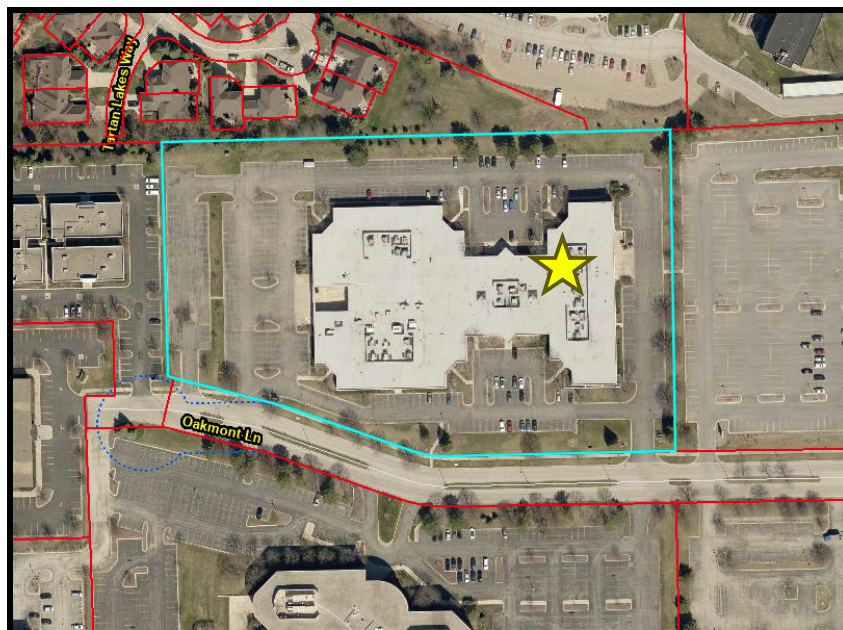
**TITLE: Request by Chicago Lightworks LLC, d/b/a Chicago Lightworks (Petitioner) and 1133 Cleveland Properties, LLC d/b/a Oakmont Tech Center (Owner), regarding the property at 600 Oakmont Lane, Suite 600, Westmont, Illinois, 60559, for the following:**

- 1) Special Use Permit to operate business offices with accessory uses of warehousing, distribution of materials, goods, or products in the O/R Office/Research District.

**I. BACKGROUND OF ITEM**

A. Location:

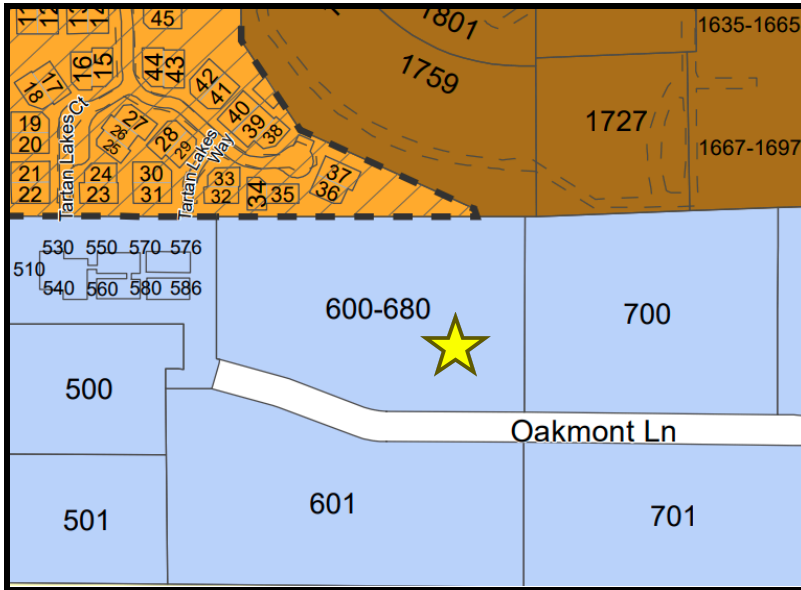
The subject site is located on the north side of Oakmont Lane. The site contains separate suites serving many individual office tenants, and a few of the suites have been designed with docks and include space for storage. The subject unit is located on the east side of the building, and has a drive-in door on the north side of the unit. The lot has an area of approximately 295,772 square feet or 6.79 acres of land.



Aerial Map - 600 Oakmont Lane (source: DuPage County Parcel Viewer)

B. Zoning Designation

**SUBJECT PROPERTY** O/R Office Research  
**NORTH** R-5 General Residence/Planned Development & R-6 Special Residence  
**SOUTH** O/R Office Research  
**EAST** O/R Office Research  
**WEST** O/R Office Research



**Zoning Map - 600 Oakmont Lane**

C. Neighborhood Characteristics:

Located in the northeastern portion of the Village, Oakmont Lane is home to one of the Village's largest office parks. As such, the property is surrounded by similar office buildings and complexes. Beyond employment uses, to the north is Mayslake Village Retirement Community and the Tartan Lakes Subdivision, a single-family attached residential development.



**View of the Unit from the North Side - 600 Oakmont Lane, Suite 600 (source: Google)  
(stars mark access points to the subject unit)**

## II. PETITIONER REQUEST:

The petitioner, Chicago Lightworks, is requesting a Special Use Permit for 600 Oakmont Lane, Suite 600, to operate an administrative office for lighting sales with accessory warehousing for the storage of lighting samples.

## III. ZONING ANALYSIS

### A. Zoning and Comprehensive Plan Designations

The purpose of the O/R district is stated in Section 8.10 as “restricted to the establishment of professional and administrative offices and research laboratories. Development within this district shall be in accord with approved plans for overall development. Plans shall relate favorably to primary thoroughfare accessibility.” Similarly, the Comprehensive Plan has designated this area as *Light Industrial/Business Bark*.

The zoning designation of O/R district maintains uses that are centered on business offices. Although the proposed office is a permitted use in the O/R district, the proposed accessory warehousing is a special use and must obtain a Special Use Permit prior to operating.

To facilitate improved occupancy of atypical buildings in the O/R district, the Village approved a text amendment in 2022. The text amendment gave building owners the ability to solicit users that may utilize already existing atypical features such as loading docks or storage areas subject to an approved Special Use Permit. This unit features a drive-in door for loading, which is accessed through the northern parking lot. Similar requests have been made and approved at this property for Midwest Mechanical in Suite 650 (2023) and 1440 Event Design in Suite LL (2024).

### B. Entitlement Request

The petitioner has provided a project narrative and supporting documentation for the following requests. The accessory special use requirements noted in Section 8.13(H), which address operation limitations, parking, and accommodation of vehicles, must be considered with the Special Use Standards listed in Section 13.09(D), both of which can be referenced in item V(B).

- **Special Use Permit for accessory warehousing**

Chicago Lightworks intends to use the subject unit as their headquarters for their lighting sales agency. Day-to-day operations include general office functions, meeting spaces, a training center for employees, a showroom for lighting fixtures, and the warehouse to store lighting samples. The hours of operation will be from 8:00 am to 5:00 pm on weekdays, with a maximum of 70 employees. The petitioner anticipates roughly 35% of the employees to be working in sales, and not present in the office every day.

The proposed warehousing will be used to store lighting samples that support the in-house showroom. The provided floor plan shows that the warehouse will be located where the drive-in door is, and will be walled off to separate it from the business offices. In addition to supporting the showroom, the lighting samples kept in the warehouse will be loaded into sales employees’ personal vehicles to use while on sales calls. Suite 600 is 23,463 square feet and the warehouse is proposed to be roughly 4,200 square feet. This is only 17.84% of the entire unit, which is compliant with the 25% maximum stipulated by Sec. 8.13(H)(2).

The petitioner does not have fleet vehicles and receives their lighting samples through mail

carries like the United Postal Service and FedEx. No outdoor storage of materials is proposed, nor would it be allowed.

#### IV. SUMMARY

The petitioner seeks approval of a Special Use Permit to operate warehousing accessory to a lighting business office in the O/R Office/Research District. The request complies with both the requirements of the Zoning Ordinance, specifically the standards of Sec. 8.13(H), and the recommendations from the Comprehensive Plan, and is subject to the standards of a special use permit approval and special conditions.

#### V. LEGAL

- A. Notification: A legal notice was published in Westmont Suburban Life on June 19, 2025,
- B. Code References: Appendix A, Sections 8.13(H); 13.09

Sec. 8.13. - Special uses in the office/research district.

*Special uses in the office/research district shall include the following:*

*(H) Accessory uses limited to fabricating, processing, assembling, warehousing, or distributing of materials, goods, or products, subject to the following requirements:*

- (1) The accessory use promotes the purpose and intent of the O/R District as an office and business center, and the accessory use utilizes secondary spaces not initially constructed as offices;*
- (2) Accessory operations cannot exceed more than 25 percent of total floor area of the permitted business use;*
- (3) Existing building construction must support the accessory use as designed without substantial alterations; building cannot be altered beyond specific building and fire code requirements to accommodate the accessory use. All building improvements must be disclosed with the special use permit application;*
- (4) Outdoor storage is prohibited. Material and/or equipment, or other vehicles unrelated to the primary business operating from the property are prohibited.*
- (5) Automotive and/or vehicle assembly, repair, maintenance and service are prohibited;*
- (6) Refuse must be properly contained in appropriate dumpsters which are enclosed by a trash enclosure and buffered with landscape screening;*
- (7) Such accessory use shall not reduce required off-street parking below minimum standards for any other use which may occupy the property;*
- (8) Accessory use does not involve the assembly of large equipment and machinery and has limited external impacts in terms of noise, vibration, odor, hours of operation and truck and commercial vehicle traffic;*
- (9) Operations must comply with the performances standards found in section 8.02(C);*
- (10) Commercial vehicles used for business operations and stored on-site when not in use shall be as authorized in special use approval, including, but not limited to:*
  - (a) Vehicles shall be stored in a designated area;*
  - (b) Vehicle count shall not be increased by more than 20 percent without an amendment to special approval;*
  - (c) Vehicles shall be operable with current registration;*
  - (d) Vehicles shall not be used to store/warehouse products or materials for a period longer than 72 hours;*
  - (e) Vehicles shall be parked in standard parking stalls and cannot encroach other stalls or required drives and aisles; oversized vehicles prohibited;*
  - (f) Vehicles shall not be stored in view of the right-of-way of any street with a supplement setback line as established in art. IV, section 4.16*

Standards for Special Uses Sec. 13.09(D):

*A proposed special use shall substantially meet the following standards in order to obtain the recommendation of the planning and zoning commission and approval of the board of trustees:*

- (1) That the establishment, maintenance or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.*
- (2) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property*

*values within the neighborhood.*

- (3) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*
- (4) That adequate utilities, access ways, drainage and/or other necessary facilities have been or are being provided.*
- (5) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.*
- (6) That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the village board pursuant to the recommendation of the plan commission.*

C. Other Action: The recommendation of the Planning and Zoning Commission will be referred to the Village Board for a final decision, which is anticipated to be at the July 24, 2025 meeting.

**VI. DOCUMENTS ATTACHED:**

- A. Publication notice appearing in the June 19, 2025 Westmont Suburban Life.
- B. Petitioner Attachments:
  1. Planning and Zoning Application received on June 11, 2025 (Edited for PZC), including responses to the Special Use Standards;
  2. Cover Letter;
  3. Proposed Floor Plan;
  4. Last Page of a Lease Agreement;
  5. ALTA/ACSM Land Title Survey.

Certificate of the Publisher

Westmont Suburban Life

Description: PZC 600 OAKMONT LN STE600  
2252843

VILLAGE OF WESTMONT  
31 W QUINCY ST  
WESTMONT IL 60559

Shaw Media certifies that it is the publisher of the Westmont Suburban Life. The Westmont Suburban Life is a secular newspaper, has been continuously published weekly for more than fifty (50) weeks prior to the first publication of the attached notice, is published in the Village of Westmont, County of DuPage, State of Illinois, is of general circulation throughout that county and surrounding area, and is a newspaper as defined by 715 ILCS 5/5.

A notice, a true copy of which is attached, was published 1 time(s) in the Westmont Suburban Life, namely one time per week for one successive week(s). Publication of the notice was made in the newspaper, dated and published on 06/19/2025

This notice was also placed on a statewide public notice website as required by 715 ILCS 5/2.1.

In witness, Shaw Media has signed this certificate by Laura Shaw, its Publisher, at Westmont, Illinois, on 19th day of June, A.D. 2025

Shaw Media By:



Laura Shaw, Publisher

Account Number 10074602

Amount \$103.90

**PUBLIC NOTICE**  
LEGAL NOTICE / PUBLIC NOTICE VILLAGE OF WESTMONT PLANNING AND ZONING COMMISSION NOTICE OF PUBLICATION NOTICE IS HEREBY GIVEN that a public hearing has been scheduled before the Westmont Planning and Zoning Commission to be held on Wednesday, July 9, 2025 at 6:00 P.M. in the Westmont Village Hall, 31 W. Quincy St., Westmont, Illinois 60559.  
The purpose of the hearing is to consider requests from Chicago Lightworks LLC, d/b/a Chicago Lightworks (Petitioner) and 1133 Cleveland Properties, LLC, d/b/a Oakmont Tech Center (Owner) for the property at 600 Oakmont Lane, Suite 600, Westmont, Illinois, 60559, for the following:  
• Special Use Permit to operate business offices with accessory uses of warehousing, distribution of materials, goods, or products in the O/R Office/Research District.  
PIN: 06-34-405-016  
More Common Location: 600 Oakmont Lane, Suite 600, Westmont, Illinois, 60559 Village Code(s) Applicable: Appendix A Sections: 8.13(H); 13.09  
Note: Any person who has a disability requiring a reasonable accommodation to participate in the meeting should contact the ADA Compliance Officer, 8:00 A.M. to 4:00 P.M. Monday through Friday, Village of Westmont, Illinois, 60559; or telephone (630) 981-6210 voice, within a reasonable time before the meeting. All interested persons in attendance will be allowed to express their views.  
WESTMONT PLANNING AND ZONING COMMISSION  
Doug Carmichael,  
Chairperson  
(Published in Westmont Suburban Life June 19, 2025) 2252843



# Village of Westmont Planning and Zoning Application and Instructions

Community Development Department  
31 West Quincy Street  
Westmont, Illinois 60559  
630-981-6260

<i>Office Use Only</i>
Date Received: _____
By: _____

---

PROJECT NAME: Chicago Lightworks LLC Office

Subject Property Street Address: 600 Oakmont Lane Suite #600

PIN Number(s): 06-34-405-016

---

**PETITIONER / BILLING CONTACT (Agent and Project Manager for the Petition):**

Petitioner (and corporation if applicable): Chicago Lightworks LLC

Address: 505 Varenville Road Suite 101, Lisle, IL 60532

Phone: 708-421-0389

Email: mnykaza@chicgolightworks.com

Relationship of Petitioner to Property Owner: Tenant

**PROJECT DESCRIPTION:** Special use permit request to allow us to store sales samples in designated storage space

**PROPERTY OWNER INFORMATION (IF DIFFERENT THAN PETITIONER):**

Property owner(s): 1133 Cleveland Properties, LLC

dba Oakmont Tech Center c/o Guy Bonneville, mgr

Address: P.O. Box 5419 Woodridge, IL 60517

Phone: 727-234-7853

Email: gmbonne@comcast.net

**BUSINESS OWNER INFORMATION (IF DIFFERENT THAN PETITIONER and PROPERTY OWNER):**

Property owner(s): N/A

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

**PROJECT STAFF:**

Developer: Guy Bonneville

Company Name: Oakmont Tech Center

Phone: 727-234-7853

Email: gmbonne@comcast.net

Attorney: N/A

Company Name: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Engineer: N/A

Company Name: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Architect: Maria Diorio

Company Name: IDG The Interior Design Group LTD

Phone: 630-348-0400

Email: mdiorio@idgllc.com

Landscape Architect: N/A

Company Name: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

By signing below, the applicant and/or property owner acknowledge that the **Application fees are non-refundable** and that filling out this form is not a guarantee that the item will appear before the Planning and Zoning Commission. The applicant and/or property owner further acknowledge that all items recommended by Village planning staff for consideration by the Planning and Zoning Commission must have received technical approvals from the Consulting Engineer, the Consulting Landscape Architect, the Consulting Architect, the Village Forester and/or other Village staff, as deemed appropriate by the Community Development Department, before being recommended for consideration by the Planning and Zoning Commission. For this reason, while this is not a requirement, it is highly recommended that the applicant/property owner hire licensed professional engineers or architects when preparing their application materials.

**PETITIONER SIGNATURE:**

Type or print name: Mike Nykaza

Signature: [Handwritten Signature]

SUBSCRIBED AND SWORN TO BEFORE ME  
THIS 11<sup>th</sup> DAY OF June, 2025

[Handwritten Signature]  
Notary Public



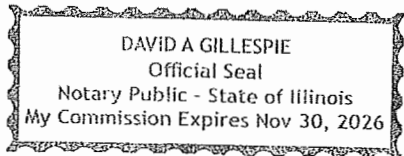
**OWNER SIGNATURE:**

Type or print name: Guy M Bonneville

Signature: [Handwritten Signature]

SUBSCRIBED AND SWORN TO BEFORE ME  
THIS 11<sup>th</sup> DAY OF June, 2025

[Handwritten Signature]  
Notary Public





CHICAGO  
LIGHTWORKS

June 10, 2025

Village Of Westmont  
Community Development Department  
31 West Quincy Street  
Westmont, IL 60559

RE: General Information of Daily Operations for Chicago Lightworks Lease at Oakmont Tech Center  
600 Oakmont Ln., Westmont, IL (the "Property")

To Whom It May Concern:

Our proposed special use shall substantially meet the following standards to obtain the recommendation of the Planning and Zoning Commission and approval of the Board of Trustees:

1. The establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

The Chicago Lightworks Headquarters space at the property will be a general office space for a service orientated business. Our proposed special use will consist of sample light fixtures and office supplies. The light fixtures are small, typically 2'X2' and house in a small case and placed on a shelf. The samples are relatively inactive, and the storage space will be less than 25% of the total office space.

2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The special use shall use existing internal storage space and building loading dock already in place to support the sample pick up. It will not require any changes to the building and will not be injurious to the use or enjoyment of the property surrounding the space.

3. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for use permitted in the district.

As noted above, the special use permit will be used for samples and utilize existing permitted facilities. It will not impede any normal and orderly development.

4. That adequate utilities, access ways, drainage and/or other necessary facilities have been or are being provided.

The property currently provides the adequate utilities, accessibility, drainage, and other necessary facilities required of the special use.

5. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

The Property was originally designed and constructed to supply ample ingress and egress. The special use will rely on the current design and continue to eliminate any congestion on public streets.

6. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the village board pursuant to the recommendations of the plan commissions.

The proposed small sample storage special use is supported by the characteristics, capabilities, and functionality of the existing design and improvements of the Property and shall conform to the applicable regulations of the district in which it is located.

Please let us know if you have any questions or require more information.

Sincerely,



Mike Nykaza  
Managing Principal, Chicago Lightworks



CHICAGO  
LIGHTWORKS

June 10, 2025

Village Of Westmont  
Community Development Department  
31 West Quincy Street  
Westmont, IL 60559

RE: General Information of Daily Operations for Chicago Lightworks Lease at Oakmont Tech Center  
600 Oakmont Ln., Westmont, IL (the "Property")

To Whom It May Concern:

The Chicago Lightworks space will serve as the headquarters of CLW, a lighting sales agency. Onsite operations will include general office desk functions, meeting spaces, and training center.

At capacity, we expect a maximum of about 70 employees will be based in Westmont, with 35% of the employees being sales and not in the office every day.

The storage area will house office supplies and sample lighting fixtures

If our Special Use Permit Application is approved, the Storage area will be inactive storage of sample lighting fixtures. The lighting fixtures are typically 2'X2' and are housed in a small case. Large equipment will not be received or stored in Westmont. We do not receive any large shipments, as our electrical distributors handle all the commercial business. We are a sales service business which is paid commissions on the business we generate by our manufactures. Our sales members will pick up samples from our storage and show them to our customers at their place of business. I do not have a fleet of vehicles and deliveries of our samples come via UPS or FedEx.

Our general business hours are 8:00am – 5:00 pm, Monday – Friday.

Please let us know if you have any questions or require additional information.

Sincerely,

Mike Nykaza  
Managing Principal, Chicago Lightworks



## NOTES

1. ALL FINISHES TO BE SELECTED BY THE INTERIOR DESIGN GROUP, LTD. AND APPROVED BY CLIENT, UNLESS OTHERWISE NOTED.
2. PROVIDE POLISHED CONCRETE FLOOR.
3. PROVIDE NEW PLASTIC LAMINATE BASE CABINETS AND PLASTIC LAMINATE COUNTERTOP WITH #4 BACKSLASH AND A.D.A. COMPLIANT SINK AND FAUCET. PROVIDE OPENING BELOW FOR TENANTS A.D.A. COMPLIANT DISHWASHER AND MICROWAVE.
4. RELOCATE EXISTING MILLWORK, WHERE SHOWN ON PLAN, MILLWORK TO BE CLEANED INSIDE AND OUT; RE-ADJUST CABINET DOORS, IF NECESSARY.
5. EXISTING MILLWORK TO REMAIN AND BE CLEANED INSIDE AND OUT; RE-ADJUST CABINET DOORS, IF NECESSARY.
6. PROVIDE GLASS DOOR AND SIDELIGHT IN TOP AND BOTTOM RAIL.
7. PROVIDE WOOD DOOR WITH 2'-0" WIDE INTEGRATED GLASS SIDELIGHT TO MATCH DOOR HEIGHT.
8. PROVIDE SLIDING GLASS DOOR WITH SIDELIGHTS ON EACH SIDE.
9. PROVIDE NEW PLASTIC LAMINATE BASE CABINETS AND PLASTIC LAMINATE COUNTERTOP WITH #4 BACKSLASH; PROVIDE OPENING BELOW FOR TENANTS A.D.A. COMPLIANT UNDER COUNTER REFRIGERATOR.
10. REPLACE WASHROOM COUNTERTOP AND SINKS. EXACT SPECIFICATION TO BE DETERMINED.
11. PAINT EXISTING WASHROOM PARTITIONS. EXACT SPECIFICATION TO BE DETERMINED.
12. PROVIDE NEW CERAMIC FLOOR IN MEN'S WASHROOM. EXACT SPECIFICATION TO BE DETERMINED.
13. PROVIDE DROP CEILING IN ALL Huddle ROOMS, CONFERENCE ROOMS.
14. PROVIDE OPEN CEILING IN BREAK ROOM, AMENITY SPACE, SHOWROOM AND SAMPLE ROOM.
15. PROVIDE OPEN CEILING WITH ACOUSTIC CLOUDS ABOVE OPEN OFFICE AREA. EXACT DESIGN AND SPECIFICATION TO BE DETERMINED.
16. EXISTING ENTRY/EGRESS DOOR.
17. PROVIDE NEW PLASTIC LAMINATE BASE CABINETS WITH PLASTIC LAMINATE COUNTERTOP AND #4 BACKSLASH.

## NOTES

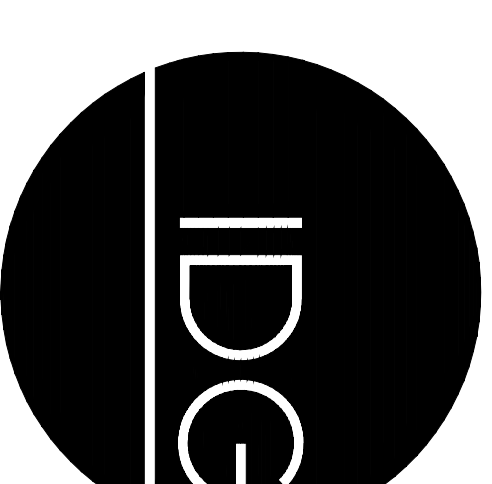
**NOTE:**  
DUE TO THE FACT THAT IDG HAS NOT VERIFIED THE EXISTING SPACE PLAN IS SUBJECT TO FIELD VERIFICATION AND CHANGE.

**NOTE:**  
ROOM AND WORKSTATION SIZES DIMENSIONED ARE APPROXIMATE & ALL FURNITURE, WORKSTATIONS, AND EQUIPMENT ILLUSTRATED ARE BY TENANT.

**EXISTING CONDITIONS**

**NEW CONSTRUCTION**

**NOTE:**  
ALL AREAS ILLUSTRATED WITH THIS HATCH ARE NOT INCLUDED IN THIS CONTRACT.



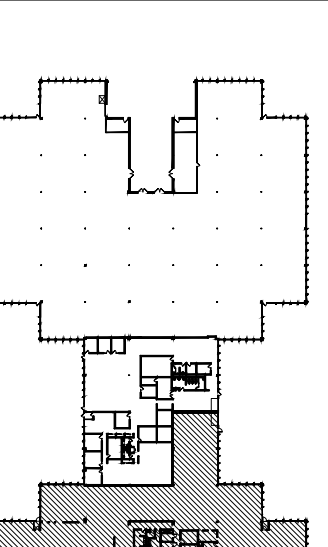
**THE INTERIOR DESIGN GROUP LTD.**

750 WARRENVILLE ROAD | SUITE 103  
LISLE, ILLINOIS 60532  
PHONE 630 | 348 | 0400  
FAX 630 | 348 | 0388  
www.idgllc.com

### PROJECT DESIGN TEAM:

ARCHITECT: JESSICA LIES  
PROJECT MANAGER: MARIA DIORIO  
REVIEWER: TIM LIES  
DRAWN BY: ALYSSIA JAQUES  
REVISED BY:

### KEY PLAN:



### TENANT:



CHICAGO  
**LIGHTWORKS**  
OAKMONT TECH CENTER  
600 OAKMONT LANE  
SUITE #600  
WESTMONT, ILLINOIS 60559

PROJ. NO.: 2612024 R.S.F. 23,463  
SUBMITTED: DATE:  
DRAWN: 11/15/2024  
FOR APPROVAL: 11/15/2024

### SHEET TITLE:

NORTH SPACE PLAN #1

SHEET NO.: 1 OF 2

## NORTH SPACE PLAN #1

SCALE: 1/8"=1'-0"



North



IN WITNESS WHEREOF, the parties hereto have executed this Lease as of the day and year first above written.


**LANDLORD:**

1133 CLEVELAND PROPERTIES, LLC, a Florida limited liability company dba OAKMONT TECH CENTER

By:   
Guy M. Bonneville, Manager

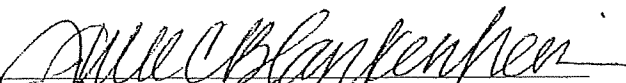
**TENANT:**

CHICAGO LIGHTWORKS, LLC, an Illinois limited liability company

By: 

Printed: Michael F. Nykaca

Title: Managing Principal

By: 

Printed: JULIE BLANKENHEIM

Title: MANAGING PRINCIPAL

# ALTA/ACSM LAND TITLE SURVEY

Prepared By  
**MARCHESE AND SONS, Inc.**

land - marine - construction surveys

10 Kenosha Drive  
Marechal, Illinois 60172

Phone: (630) 804-5880  
FAX: (630) 884-8888

## PROPERTY DESCRIPTION

LOT 4 IN DUKE REALTY SUBDIVISION, BEING A RESUBDIVISION OF LOTS 3, 4 AND 5 IN ROCKWELL SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 34, TOWNSHIP 38 NORTH RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 15, 2002 AS DOCUMENT R2002-270476, IN DUPAGE COUNTY, ILLINOIS.

CONTAINING 286689 SQUARE FEET OR 6.511 ACRES, MORE OR LESS

## SITE LOCATION MAP

(NOT TO SCALE)



SHEET : 1 OF 1

PN NO.: 84-34-405-016

ADDRESS: 600 OAKMONT LANE

WESTMONT, ILLINOIS

SCALE: ONE INCH = FORTY FEET

ORDER NO.: 11-15514

ORDERED BY: DUKE REALTY

COMPARE ALL POINTS BEFORE BUILDING AND AT ONCE REPORT ANY DIFFERENCE, FOR BUILDING LINE AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR CONTRACT, DEED, TITLE INSURANCE POLICY AND ZONING ORDINANCE. BASIS OF THE BEARINGS SHOWN HEREON HAVE BEEN ASSUMED.

"THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY."

STATE OF ILLINOIS

COUNTY OF DUPAGE

TO: Duke Realty Limited Partnership;  
BREC/Central Office Holdings, LLC, a Delaware limited liability company, and its successors and assigns;  
BREC/COH II, LLC, a Delaware limited liability company, and its successors and assigns;  
Central Office Capital Corporation or its designees, an Administrative Agent on behalf of the lenders in its capacity from time to time and its successors and assigns, and their respective successors and assigns, all of whom may rely hereon; and  
First American Title Insurance Company.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1.2, 3, 4, 8(a), 8(b), 7(a), 7(b)(1), 7(c), 8, 9, 10(a), 11(a), 13, 14, 15, 16, 17, 18, 19 AND 20(a) OF TABLE A THEREOF.

GIVEN UNDER MY HAND AND SEAL THIS 2ND DAY OF AUGUST, 2011.

*Scott J. Marchese*  
ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR NO. 2461

MY CURRENT LICENSE EXPIRES ON NOVEMBER 30, 2017  
FIELD WORK COMPLETED ON AUGUST 1, 2011

"The licensee has reviewed the Public Records as well as a visual review of the site and in the face of his skills has shown the boundaries and easements. However we are not responsible for any errors or omissions or liability of records not shown or for the public records or documents that cannot be seen for a total inspection of the property."

## NOTES

Existing Zoning Designation: "CRF" Office/Research

1. Building Setback Lines

a. Front: 20 Feet

b. Side: 20 Feet East

c. Rear: 20 Feet, when adjacent a residence district

2. Building Size

a. Maximum Building Height or Stories: 75 Feet

b. Building Site Area Requirements: Minimum Lot Area: 20,000 Sq. Ft.

3. Density

a. Building Density Formula: Maximum Floor Area Ratio: 0.4

1. FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. NCS-8081443-0112 WITH AN EFFECTIVE DATE OF SEPTEMBER 15, 2011 REVIEWED BY THE LAND SURVEYOR WHILE PREPARING THIS SURVEY.

ITEM 12: ALL ACQUIRING OWNER INFORMATION SUPPLIED BY TAX BILLING INFORMATION FROM THE DUPAGE COUNTY ASSESSOR'S OFFICE OR THE CLIENT.

ITEM 16: NO OBSERVATIONS AT TIME OF THE SURVEY

ITEM 17: NO OBSERVATIONS AT TIME OF THE SURVEY AND SURVEYOR HAS NOT BEEN MADE AWARE OF FUTURE CHANGES THAT COULD AFFECT SUBJECT PARCEL.

ITEM 18: NO OBVIOUS EVIDENCE AT TIME OF FIELD SURVEY, NO INVESTIGATION HAS BEEN MADE TO DISCOVER NEARBY OR ENVIRONMENTAL MATTERS AFFECTING THE SUBJECT PARCEL.

ITEM 19: NO WETLANDS MARKED OR IDENTIFIED AT THE TIME OF THE SURVEY

4. Easements and restrictions contained in deed from an ancestor of the Francesses Fathers of the State of Illinois to Mary L. Powers recorded April 2, 1949 as document 189-7892, relating to building height and building setback lines.

5. Easement for public utilities as shown on plat of Rockwell Subdivision recorded as document 189-7892 and DeKalb Realty Subdivision recorded as document 189-7892, and for street and driveway easements.

6. Building lines as shown on plat Rockwell Subdivision recorded as document 189-7892 and DeKalb Realty Subdivision recorded as document 189-7892, and the terms and provisions contained therein.

7. Easement in favor of Commonwealth Concrete Company, its successors and assigns, to install, operate, and maintain their equipment together with rights of access thereto as contained in Grant of Easement recorded as document 189-7892, and the terms and provisions contained therein.

8. Easement for public utilities and easements granted to the Village of Westmont, and those public utility companies under franchise from the Village, Commonwealth Edison and First American Title Insurance Company, its successors and assigns, to install, operate and maintain all equipment necessary for the purpose of serving the land and other property, together with the right of access to said equipment, and the provisions relating thereto recorded November 4, 1993 as document 189-7892.

9. Easement in favor of Commonwealth Concrete Company, its successors and assigns, to install, operate and maintain all equipment necessary for the purpose of serving the land and other property, together with the right of access to said equipment, and the provisions relating thereto recorded November 4, 1993 as document 189-7892.

10. Easement in favor of Commonwealth Concrete Company, its successors and assigns, to install, operate and maintain all equipment necessary for the purpose of serving the land and other property, together with the right of access to said equipment, and the provisions relating thereto recorded November 4, 1993 as document 189-7892.

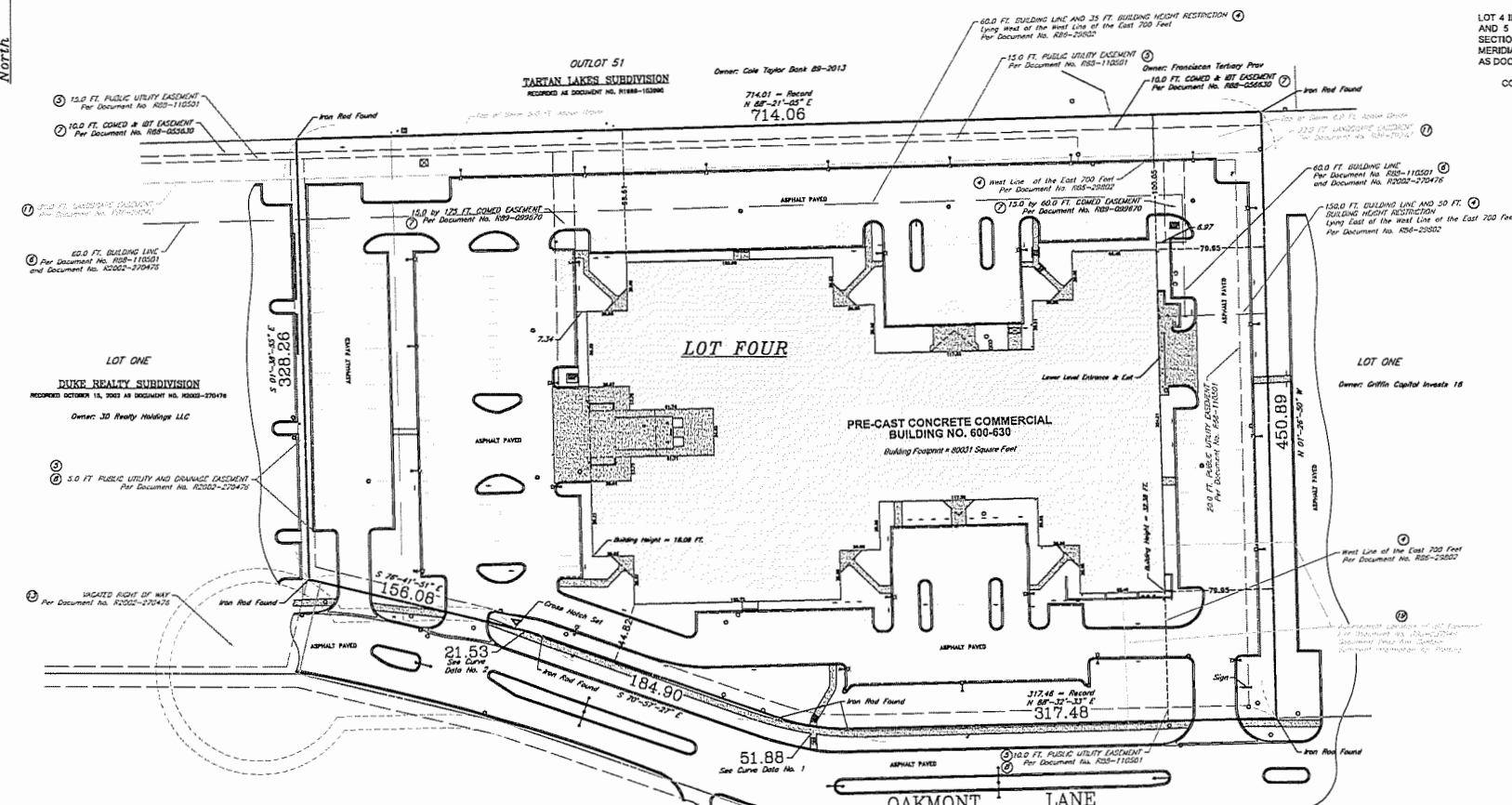
11. Leasehold Easement Agreement made by and between Francesses as Trustee of the Sacred Heart, Inc. and Antiquarian Trust and Savings Bank as Trustee under Trust Agreement dated March 21, 1966 and Lease and Trust No. 5189, recorded April 1, 1966 as document 189-7892, with the terms, provisions and easements contained therein.

12. Ordinance No. 94, recorded January 27, 2004 as document 189-7892, relating to portions of Minimum Lot Area and a portion of a 10-foot setback easement.

## OUTLOT 51

TARTAN LAKES SUBDIVISION  
RECORDED AS DOCUMENT NO. R1888-103886

Owner: Cole Taylor Bank 85-2013  
714.01 = Record  
N 89°-21'-05" E  
714.06



North

### LEGEND

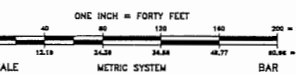
- = AREA LIGHT
- = CATCH BASIN
- = CONCRETE PARKING BARRIER
- = CURB DRAIN
- = FIRE HYDRANT
- = GAS METER
- = HANDICAPPED PARKING SPACE
- = HANGAR COVER
- = OVERHEAD WIRES
- = PIPE BOLLARD
- = SIGN
- = STREET LIGHT STANDARD
- = WOOD SERVICE POLE
- = TREE
- = VEGETATION TYPE
- = PROPERTY BOUNDARY
- = PARCEL LINES
- = EASEMENTS

### PARKING STALL SCHEDULE

STANDARD AUTOMOBILE PARKING STALLS = 320  
HANDICAPPED AUTOMOBILE PARKING STALLS = 13  
TOTAL AMOUNT OF EXTERIOR PARKING STALLS = 333

### Curve Data

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	143.00	51.88	51.80	S 81°13'07" E
C2	219.00	21.53	21.82	N 73°42'38" W



**FLOOD STATEMENT:**  
The shaded parcel lies within "Zone X", (Unshaded) Other Areas of Minimal Flooding (Areas determined to be outside the 0.2% annual floodplain), as well as parcel 8435 by title on the Federal Emergency Management Agency Federal Insurance Administration's Flood Insurance Rate Map (FIRM) for the County of DuPage, Illinois (Unincorporated Areas), Community Flood Number 17043 C 0029, as revised date December 6, 2004. The Flood statement is for information only and the surveyor assumes no liability for the correctness of the flood map(s). In addition, this Flood statement does not represent the surveyor's opinion of the probability of flooding. Note: The accuracy of this Flood hazard statement shown on this report is subject to map scale uncertainty and to any other uncertainty in location or elevation on the referenced Flood Insurance rate map(s).



NOTE: UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN PLOTTED WITH THE AID OF AVAILABLE RECORDS.  
FOR LOCATIONS OF UNDERGROUND UTILITY MARKS, PLEASE CONTACT J.U.L.L.E. BY CALLING 811 OR 1-800-892-0123.

DATE	REVISION	MARK
11/10/11	Revised Statement No. 4	4
11/10/11	Added Parties to Certificate	3
11/10/11	Added Review Comments	2
10/31/11	Corrected Comments	1



DATE	REVISION	MARK
11/10/11	Revised Statement No. 4	4
11/10/11	Added Parties to Certificate	3
11/10/11	Added Review Comments	2
10/31/11	Corrected Comments	1